

In light of the current public health crisis and the Federal, State and County Emergency Declarations, and in accord with the provisions of Sec. 610.020, RSMo., the Board of Aldermen recognizes that it would be dangerous and impractical, if not impossible, for its meeting to be physically accessible to the public. The Board also recognizes the need for the public's business to be attended to in order to protect the public health, safety and welfare. In order to balance both the need for continuity of government and protection of the health and safety of our residents, business persons and employees, this meeting of the Board of Aldermen will not be open to public attendance in person. The meeting will be accessible by the public in real time ONLY by following the instructions in the box below.

You are invited to a Zoom webinar.

When: July 27, 2021; 7:00 P.M. Meeting

Topic: 07/27/2021 Board of Aldermen Meeting.

Join from a PC, Mac, iPad, iPhone or Android device:

Please click this URL to join. <https://us02web.zoom.us/j/82739793083>

Or One tap mobile:

+13126266799,,82739793083# US (Chicago)

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Or join by phone:

Dial(for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782

Webinar ID: 827 3979 3083

International numbers available: <https://us02web.zoom.us/j/82739793083>

Persons interested in making their views known on any matter on the agenda should send an email with their comments to the City Clerk at jfrazier@claytonmo.gov. All comments received will be distributed to the entire Board before the meeting.

Thank you for your understanding and patience as we all try to get through these difficult and dangerous times.

CITY OF CLAYTON BOARD OF ALDERMEN
NO DISCUSSION SESSION
TUESDAY, JULY 27, 2021
VIRTUAL ZOOM MEETING
CLAYTON, MO 63105

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TUESDAY, JULY 27, 2021
VIRTUAL ZOOM MEETING
CLAYTON, MO 63105
7:00 P.M.

ROLL CALL

MINUTES – July 13, 2021

PUBLIC REQUESTS & PETITIONS

AWARDS & RECOGNITIONS

1. *“Silver Shovel Award”* presented by Spire

PUBLIC HEARING

1. Ordinance – To approve amendments to Chapter 410, Overlay and Urban Design Zoning Districts. (Bill No. 6851)

CITY MANAGER REPORT

1. Ordinance – To approve corrections to clerical errors in ordinances related to the Bemiston Place project to accurately reflect the intent and action of the Board of Aldermen. (Bill No. 6852)
2. Motion – To approve the disposal of records per the Missouri Secretary of State General Records Retention Schedule.
3. Motion – To approve appointments to the Boards and Commissions.

ADJOURNMENT

Subject to a motion duly made in open session and a roll call vote pursuant to Section 610.022 the Board of Aldermen may also hold a closed meeting, with a closed vote and record for one or more of the reasons as authorized by Section 610.021(1), (2) and (3) Revised Statutes of Missouri, relating to legal issues, real estate and/or personnel, negotiation of a contract pursuant to Section 610.021(12) RSMO., proprietary information pursuant to Section 610.021(15), and/or information related to public safety and security measures pursuant to Section 610.021(18) and (19) RSMO.

THE CITY OF CLAYTON

Board of Aldermen
Virtual Zoom Meeting
July 13, 2021
7:00 p.m.

Minutes

NOTE: In accord with the provisions of Section 610.015, RSMo., and multiple declarations of emergency at every level of government, and the prohibition on gatherings of 10 or more persons due to the Coronavirus pandemic, normal requirements for voting in the Board meeting were suspended. Accordingly, votes were taken as if all Board members were physically present and in attendance at the meeting.

Mayor Harris called the meeting to order and requested a roll call. The following individuals were in attendance:

Aldermen: Rich Lintz, Ira Berkowitz, Bridget McAndrew, Susan Buse, and Becky Patel.

Mayor Harris
City Manager Gipson
City Attorney O'Keefe

Motion made by Alderman McAndrew to approve the June 22, 2021 minutes. Alderman Berkowitz seconded.

Motion to approve the minutes passed unanimously on a voice vote.

PUBLIC REQUESTS AND PETITIONS

Rick Bliss, citizen, inquired about the Centene art wall update. He noted that the last posted (City's website) minutes for the Public Art Advisory Committee (PAAC) was May 2017.

Mayor Harris provided an update explaining with regard to Tower B (the west-facing wall) Centene has hired a public art consultant which is the same consultant that worked with the City on the James Surls' art project. The consultant will manage the entire project which will create public engagement around the options that are available. PAAC recently met to discuss options and she has also met with a select few citizens who live in proximity of Centene to also discuss the options. The consultant brought forward five artists, a committee that involved Centene representatives and herself looked at the options and selected two out of the five artists, and they will meet and present to Mr. Neidorff. One of Centene's requests was to have an abstract piece.

Mr. Bliss commented that he is glad to know that there is progress being made.

AN ORDINANCE TO APPROVE A SUCCESSOR COLLECTIVE BARGAINING AGREEMENT BETWEEN THE CITY OF CLAYTON AND THE INTERNATIONAL ASSOCIATION OF FIRE FIGHTERS LOCAL 2665

Mayor Harris opened the public hearing and requested proof of publication.

Andrea Muskopf, Assistant to the City Manager, reported that this is a public hearing to consider an application for a Conditional Use Permit submitted by Seth Williams of MetroVet St. Louis to allow the establishment of a new veterinary clinic located at 920 South Brentwood Boulevard. The subject property has a zoning designation of High Density Commercial District.

The proposed veterinary clinic would occupy approximately 2,688 square feet of space in the current building. Parking is provided on the site, with 21 existing spaces provided between the subject site and the adjacent accompanying parking lot located at 914 South Brentwood Boulevard, which serves the subject site. The proposed hours of operation are 8:00 AM to 6:00 PM Monday through Thursday, 8:00 AM to 5:00 PM on Friday, and 9:00 AM to 1:00 PM on Saturday. The clinic will be closed on Sundays. The proposed facility provides primary care veterinary medicine and surgery services and not animal boarding or daycare type services. Animals will only be at the facility for an extended stay necessary due to a medical condition. There are no outdoor activities, such as a dog yard, proposed by the applicant.

In response to the Board's questions, Seth Williams, owner, addressed stated that it is a long-time dream to expand the business to Clayton. The building will undergo renovations to be high quality and modern. They are planning on opening in late December 2021 or early January 2022. The current plan for staffing is one veterinarian, himself and after the first year to add an additional veterinarian, and possibly have up to three or four total. They will provide a limited amount of retail (food, toys), but it would be very minimal.

Alderman Buse commented that she always loved animals and welcomed them to Clayton.

Mayor Harris closed the public hearing.

Motion made by Alderman Lintz to approve Res. No. 2021-11, a Conditional Use Permit for MetroVet St. Louis for a new veterinary clinic located at 920 South Brentwood. Alderman Berkowitz seconded.

The motion passed unanimously on a voice vote.

AN ORDINANCE TO APPROVE EXTENDING THE SPECIAL EVENT SIGNS PILOT PROGRAM

Andrea Muskopf, Assistant to the City Manager, reported that this is an ordinance approving a 2-year extension of the special event signs program until July 13, 2023, or until the City's sign code is amended to allow special event signs of a similar nature

Alderman Lintz introduced Bill No. 6849, to approve extending the pilot program for Special Event Signage to be read for the first time by title only. Alderman Berkowitz seconded.

City Attorney O'Keefe reads Bill No. 6849, first reading, an Ordinance Authorizing an Extension of a Program to Assess the Benefits and Risks of Allowing Expanded Signage Opportunities During Special Retail Events by title only.

The motion passed unanimously on a voice vote.

Motion made by Alderman Lintz that the Board give unanimous consent to consideration for adoption of Bill No. 6849 on the day of its introduction. Alderman Berkowitz seconded.

The motion passed unanimously on a voice vote.

Alderman Lintz introduced Bill No. 6849, to approve extending the pilot program for Special Event Signage to be read for the second time by title only. Alderman Berkowitz seconded.

City Attorney O'Keefe reads Bill No. 6849, second reading, an Ordinance Authorizing an Extension of a Program to Assess the Benefits and Risks of Allowing Expanded Signage Opportunities During Special Retail Events by title only.

The motion passed on a roll call vote: Alderman Lintz – Aye; Alderman Berkowitz – Aye; Alderman Buse – Aye; Alderman McAndrew – Aye; Alderman Patel – Aye; and Mayor Harris – Aye. The bill, having received majority approval was adopted and became Ordinance No. 6709 of the City of Clayton.

AN ORDINANCE AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AGREEMENT WITH THE CITIES OF BRENTWOOD, MAPLEWOOD AND RICHMOND HEIGHTS, MISSOURI TO PROVIDE A SHARED TRAINING OFFICER

Andrea Muskopf, Assistant to the City Manager, reported that due to technical advances in firefighting, the growing complexity of emergency medical responses, threats from hazardous materials, and other factors, the expertise required of firefighters, EMT's and paramedics has never been greater.

In 2016, the cities of Brentwood, Clayton and Maplewood determined that it is a challenge for the cities to provide required training necessary at a reasonable cost. An agreement with said cities was executed and a Battalion Chief-Training Officer position was created and is dedicated solely to the training and development of firefighters, paramedics, and other personnel of the fire departments of Brentwood, Clayton, and Maplewood.

The success of this program over the years generated interest by the City of Richmond Heights and they have requested entry to this program. With unanimous agreement with all City Managers and approval by their respective Board of Aldermen, this new Agreement will become effective July 1, 2021.

In response to the Board's questions, Chief Paul Mercurio stated that currently Jason Hildebrandt (stationed at the Maplewood site) is the training officer with adjunct training assistants. Training takes place at all the engine houses. He added that this is another example of a success story of departments working together and he hopes to expand the program to add other municipalities.

Alderman Linz introduces Bill No. 6850, to authorize the City Manager to enter into an agreement with the Cities of Brentwood, Maplewood, and Richmond Heights to provide a shared training officer to be read for the first time by title only. Alderman Berkowitz seconded.

City Attorney O’Keefe reads Bill No. 6850, first reading, an Ordinance Approving the Agreement with the Cities of Brentwood, Maplewood and Richmond Heights, Missouri to provide a shared training officer by title only.

The motion passed unanimously on a voice vote.

Motion made by Alderman Lintz that the Board give unanimous consent to consideration for adoption of Bill No. 6850 on the day of its introduction. Alderman Berkowitz seconded.

The motion passed unanimously on a voice vote.

Alderman Linz introduces Bill No. 6850, to authorize the City Manager to enter into an agreement with the Cities of Brentwood, Maplewood, and Richmond Heights to provide a shared training officer to be read for the second time by title only. Alderman Berkowitz seconded.

City Attorney O’Keefe reads Bill No. 6850, second reading, an Ordinance Approving the Agreement with the Cities of Brentwood, Maplewood and Richmond Heights, Missouri to provide a shared training officer by title only.

The motion passed on a roll call vote: Alderman Lintz – Aye; Alderman Berkowitz – Aye; Alderman Buse – Aye; Alderman McAndrew – Aye; Alderman Patel – Aye; and Mayor Harris – Aye. The bill, having received majority approval was adopted and became Ordinance No. 6710 of the City of Clayton.

A RESOLUTION TO CONSIDER APPROVING THE FIVE-YEAR CAPITAL IMPROVEMENTS PLAN FOR INCLUSION IN THE FISCAL YEAR 2022 PROPOSED BUDGET DOCUMENT

Andrea Muskopf, Assistant to the City Manager, reported that at the June 18, 2021, discussion session, staff presented the Board of Aldermen with the recommendations for the funded projects in the five-year Capital Improvements Plan (fiscal years 2022 – 2026). After discussion regarding specific projects, the Board made no changes to the recommended project list at that meeting.

The Capital Improvements Plan, once approved, will be incorporated into the proposed City budget document and will be a part of the public hearing process prior to budget approval.

Janet Watson, Director of Finance and Administration, confirmed as previously reported by Andrea Muskopf, that the projects’ list has not changed and is the same as presented at the June 18 meeting where the Board made no changes. The listing of projects will be funded over the next five years. She noted that there was also a list of significant unfunded projects which were not included but mentioned at the meetings. Those projects were discussed as major projects, but unfunded – the Public Works and Parks facilities, the multi-use facility in Shaw Park, and some major street lighting projects. The public will also have an opportunity for questions during the public hearing budget set for the September meeting.

Mayor Harris reiterated that this list takes us out through 2026 and it does not have any project(s) that requires a bond; it does not have a major project (i.e., multi-use facility, a new Public Works facility, major street lighting projects). She stated that there may have been some confusion about the projects’ list and wanted to re-emphasize so that everyone understood.

Alderman Lintz stated for clarification purposes that what the Board is agreeing to is the proposed list that will go into the budget for FY2022 and the years going out beyond which obviously gets approved each budget year as it comes along. He stressed that this is a planning document going for the “outer” years and not necessarily something that is being written in stone.

Janet Watson confirmed Alderman Lintz’ statement, noting to prevent future confusion, the City will have some bond issuances in the future, over the next several months, because there are some current bond issuances that can be refunded or refinanced to save funds, but they will not include these projects.

In response to Alderman McAndrew’s question regarding the bonds, Janet Watson explained that the City has an older (2011) issuance where we can save some funds on that will come due as a call date; there is a 2014 General Obligation bond that has a property tax support to it and since 2014 the rates have fallen considerably to which there is a large savings available to refinance.

Motion made by Alderman Lintz to approve Resolution No. 2021-12, the Five (5)-Year Capital Improvements Plan (CIP) for the FY2022 proposed budget. Alderman Berkowitz seconded.

The motion passed unanimously on a voice vote.

Mayor Harris asked that the approved project list is placed on the City’s website.

There being no further business the meeting adjourned at 7:38 p.m.

Mayor

ATTEST:

City Clerk



City Manager
10 N. Bemiston Avenue
Clayton, MO 63105

REQUEST FOR BOARD ACTION

TO: MAYOR HARRIS; BOARD OF ALDERMEN

FROM: DAVID GIPSON, CITY MANAGER
SUSAN M. ISTENES, AICP, DIRECTOR, PLANNING & DEV. SERVICES

DATE: JULY 27, 2021

SUBJECT: PUBLIC HEARING & ORDINANCE - DOWNTOWN DEVELOPMENT OVERLAY
DISTRICT STANDARDS PROJECT SUMMARY IN PREPARATION FOR
FUTURE CONSIDERATION OF AMENDMENTS TO CHAPTER 410, OVERLAY
AND URBAN DESIGN ZONING DISTRICTS, ARTICLES III AND IV

H3 Design Studios (the “consultant”) has been under contract with the City of Clayton to assist the City with updating two existing Downtown Overlay Zoning districts. The Central Business District/Downtown Core Overlay District evaluation and study was conducted over a period of approximately 18 months, culminating in April 2021.

The study began with the consultant identifying the project area and conducting an on-site survey of existing conditions in the project area. Once this data was collected, analyzed and graphically depicted, interactive work sessions were conducted with the Board of Aldermen, Clayton Plan Commission, the Planning Department and a steering committee comprised of key developers, property owners, residents and business owners within the immediate study area. The purpose of the work sessions was to gather feedback to establish the vision, principles, and parameters for proposed new design guidelines and development standards for the study area.

On June 21, 2021, H3 gave an informational overview of the study process to the Plan Commission, from start to finish, as a process refresher. The presentation included a summary of the public process, key decision points and the resulting draft written development standards and design guidelines which will be considered for adoption in accordance with the schedule noted below. As a primer to the upcoming public hearings the same presentation is being given to the Board of Aldermen at this July 27, 2021 meeting.

There are three documents attached to this report for the Board's examination.

1. A hard copy of the slides created by H3 for the presentation given to the Plan Commission on June 21 and for the same Board presentation to be given on July 27.
2. Draft Design Guidelines.
3. Draft ordinance for text amendments to Chapter 410. *Overlay and Urban Design Zoning Districts* of the Land Use Code and other articles and sections related thereto. *** As a result of the PC/ARB Hearing on July 19, the attached ordinance for adoption for the Development Standards is in the process of being amended per comments from the Plan Commission. Those areas are highlighted in red in the ordinance.**

The development standards and design guidelines resulting from this study are intended to provide the City of Clayton's Department of Planning and Development Services; Architectural Review Board; Plan Commission; Board of Adjustment; and Board of Aldermen with a place-specific and form-based code framework by which to evaluate new development proposals and construction projects within the specified area.

As of the writing of this report, the Public Hearing schedule to adopt proposed code revisions and new design standards is as follows:

PC/ARB = Plan Commission/Architectural Review Board

BOA = Board of Aldermen

*Schedule subject to change

Date	Board	Action to be Taken	Action Taken
June 21	PC/ARB	Presentation of Study process	H3 Studios gave an overview of the study process that has occurred over the previous 18 month period.
July 6	PC/ARB	Public Hearing to Consider Code Amendments	No action taken. Item was continued to 7/19 meeting.
July 13	BOA	Presentation of Study Process	Item was not placed on the agenda. Consultant not available.
July 19	PC/ARB	First Public Hearing to Consider Code Amendments	Public Hearing held. Comments from Board to applicant and staff necessitate minor revisions to development standards ordinance.
July 27	BOA	Presentation of Study process and Public Hearing	
August 2	PC/ARB	Second and final public hearing to consider code amendments.	
August 10	BOA	Second and final public hearing to consider code amendments.	

Plan Commission Recommendation: There is no formal recommendation from the July 19 meeting. On July 19, the Plan Commission considered both the ordinance and design standards and recommended staff, and the consultant make minor modifications to the ordinance. The second public hearing with the Plan Commission is scheduled for August 2.

Recommendation: To review the presentation materials prior to consideration of the draft ordinance of adoption which modifies Chapter 410 *Overlay and Urban Design Zoning Districts*, Articles III and IV and other code sections and articles related thereto and to consider acceptance of the proposed Design Standards and then continue this meeting to August 10, 2021.

BILL NO. 6851

ORDINANCE NO.

AN ORDINANCE AMENDING TITLE IV “LAND USE”, CHAPTER 410 (OVERLAY AND URBAN DESIGN ZONING DISTRICTS) OF THE MUNICIPAL CODE OF THE CITY OF CLAYTON, MISSOURI, REPEALING ARTICLE III AND REPLACING ARTICLE III WITH A NEW DISTRICT TITLED “NORTHEAST DOWNTOWN OVERLAY ZONING DISTRICT” AND REPEALING ARTICLE IV, CHANGING REFERENCES TO ARTICLES III AND IV IN VARIOUS SECTIONS OF THE CODE IN LIGHT OF THE NEW TITLES OF ARTICLES III AND IV AND THE AMENDED PROVISIONS THEREIN AND OTHER ACTIONS RELATED THERETO.

WHEREAS, the Mayor and Board of Aldermen set a long-term initiative to enhance the vibrancy of the Central Business District and to ensure that redevelopment of the downtown retained and enhanced its pedestrian friendly and architectural character; and

WHEREAS, the City contracted with H3 Studios, Inc. an Urban Design and Planning firm and over the last sixteen months has assisted the City with data collection, public meetings and draft regulations which resulted in updates to the two existing downtown overlay zoning districts in order to implement the applicable provisions of the Downtown Master Plan and encourage desired development in this area; and

WHEREAS, on August 2, 2021, the Plan Commission held a public hearing, after due notice as provided by law, to solicit input regarding amendments to the City’s land use regulations to repeal the CBD Overlay District and the Downtown Overlay district and replace them with one district titled “Northeast Downtown Overlay Zoning District; and

WHEREAS, following public comment and review, the Plan Commission voted unanimously to recommend that the Board of Aldermen enact the amendments hereinafter set forth; and

WHEREAS, on August 10, 2021, after due notice as provided by law, the Board of Aldermen held a public hearing for the purpose of receiving public comment on the question of the adoption of the provisions hereinafter set forth; and

WHEREAS, the Board of Aldermen has determined that it is in the best interest of the City of Clayton to adopt the amendments hereinafter set forth and that such amendments best serve the public health, safety and welfare of the City and its residents; and

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF CLAYTON, MISSOURI, AS FOLLOWS:

Section 1.

Chapter 410 (Overlay and Urban Design Districts) of Title IV (Land Use) of the Code of Ordinances of the City of Clayton, Missouri, is hereby amended by the repeal of Article III and Article IV and the replacement of Article III with a new overlay district titled “Northeast Downtown Overlay Zoning District” with seventeen (17) Sections, initially to be designated as Article III and Sections 410.075 through 410.130, and the remainder of the Chapter to be renumbered, and to read as follows:

Chapter 410. Article III to be repealed and replaced with the following:

Article III: Northeast Downtown Overlay Zoning District

Section 410.075. Purpose Statement and Applicability

A. The Northeast Downtown Overlay Zoning District (hereinafter known in this Article as the NDO Overlay Zoning District) applies to selected blocks in the northeast area of Downtown Clayton which have been identified as pedestrian friendly, retail and entertainment areas. The area encompassed by this District is the heart of commercial and service activities, along with residential, entertainment and office land uses. Buildings in this area are “pedestrian friendly” and built to human scale at the street level. The Northeast Downtown Overlay Zoning District standards coupled with the use of city adopted Design Standards will preserve the ambiance of this area of the City and provide redevelopment opportunities that align with the vision for this area as set forth in the Downtown Master Plan.

B. *Applicability.* Development Standards shall apply to all development, subject to the following requirements:

- (1) All new development on parcels following the demolition of an existing building.
- (2) Alterations to existing buildings, subject to the following requirements:
 - (a) The alteration comprises 51 percent or more of the existing building’s gross floor area as measured from exterior walls.
 - (b) The alteration comprises an addition of 51 percent or more of the existing building’s gross floor area as measured from exterior walls.

C. *Exceptions* The development standards set forth in this section shall not apply to the following:

- (1) Accessory structures located behind the primary building, which are one (1) story or less in height and 150 square feet of gross floor area or less, as measured from exterior walls.
- (2) Alterations and improvements that do not meet the requirements specified in Section 410.075.B.(2).

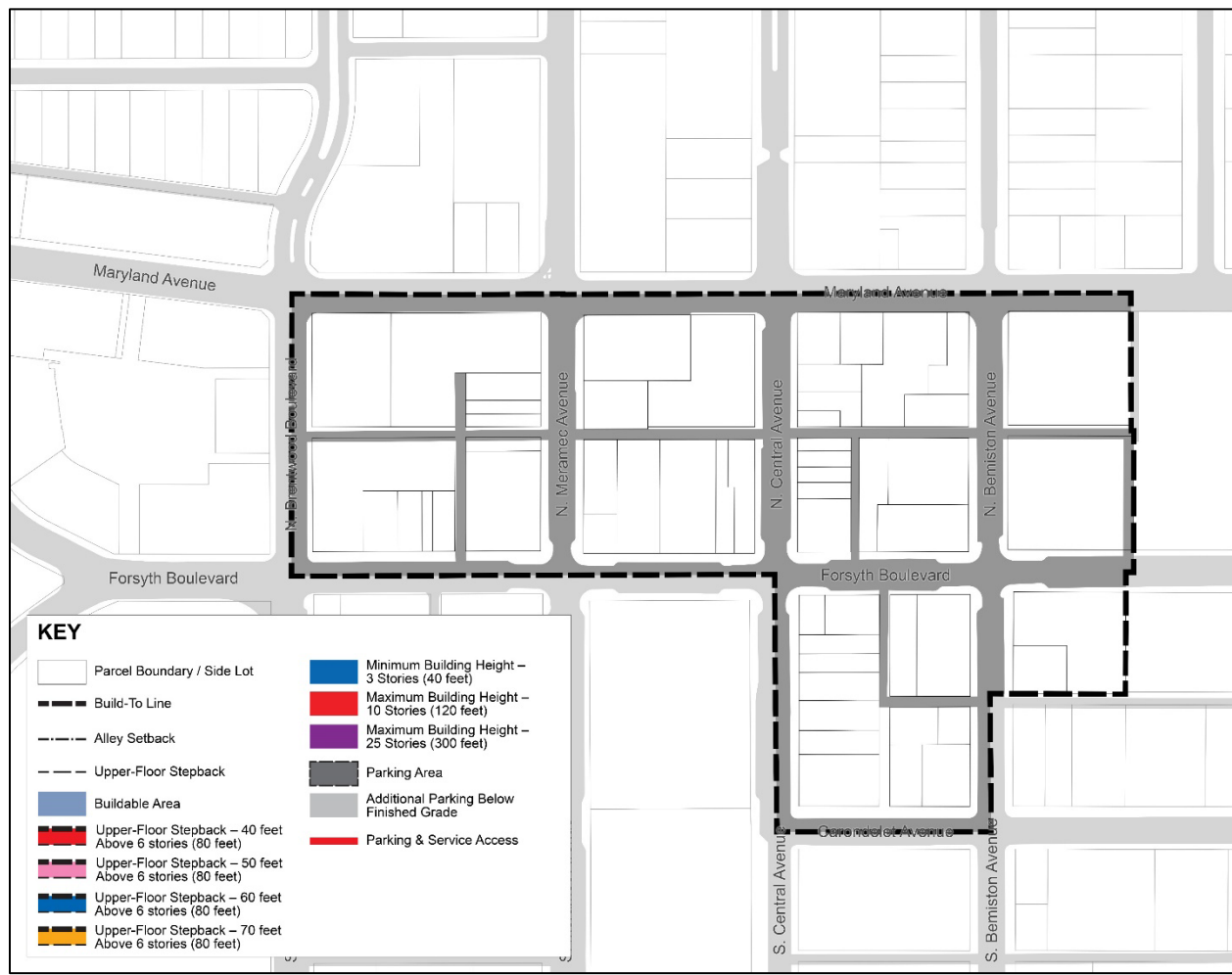
Section 410.080. Location of Overlay Zone

The Northeast Downtown Overlay Zoning District applies to select blocks in the northeast area of the downtown and includes the following properties:

Beginning at the center of the intersection of Forsyth Boulevard and North Brentwood Boulevard, then northerly to the centerline of Maryland Avenue then easterly to the east property

boundaries of 7750 Maryland Avenue then southerly along the east property line of 7750 Maryland Avenue then westerly along the south property line of 7740 Forsyth Avenue and 10 North Bemiston Avenue, then across Forsyth Boulevard, continuing south along the east property line of 7740 Forsyth Boulevard then westerly along the south property lines of 7740 Forsyth Boulevard and 12 South Bemiston Avenue to the centerline of South Bemiston Avenue, then southerly to the centerline of Carondelet Avenue, then westerly to the centerline of South Central Avenue, then northerly to the centerline of Forsyth Boulevard, then westerly to the centerline of North Brentwood Boulevard, see Figure 1 below.

FIGURE 1



Section 410.085. Significance of Designation

These regulations shall supersede or supplement, as applicable, the regulations of the underlying base zoning district. Where conflict results between the regulations of the overlay district and the provisions of the underlying base zoning district, the provisions of the overlay district shall control. Although not encouraged, through the action of rezoning to a Planned Unit

Development these regulations may be modified provided the PUD zoning regulations are more restrictive than those found in this section.

Section 410.090. Uses Permitted

The uses permitted by right and by conditional use permit are listed in the Section 401.130, Building Use Requirements.

Section 410.095. Planned Unit Development

A. A development proposal will be eligible for consideration under the planned unit development option per the provisions of Chapter 405 when the development incorporates two (2) of the following give (5) categories of use:

1. Office Use
2. Retail Use
3. Residential Use
4. Public parking (as defined in these regulations) ***
5. Hotel Use

NOTE: For the purposes of this Article, hotels containing a public restaurant will be considered eligible for a planned unit development.

Section 410.100. Rezoning Amendment

The “PUD” application process includes a request for rezoning pursuant to the provisions of Chapter 405. A PUD rezoning must be completed concurrently with the approval process for the PUD Master Plan, the Site Development Plan and the Architectural Plans.

Section 410.105. Form Standards

A. Building Placement. The following are form standard requirements for building placement.

1. Build-to Line (Figure 2). Build-to line refers to the specific line at which the building façade will be placed, as measured from the parcel boundary, and are required as follows:

[a] Street Frontage: 0 feet (from ground level to floor 6)

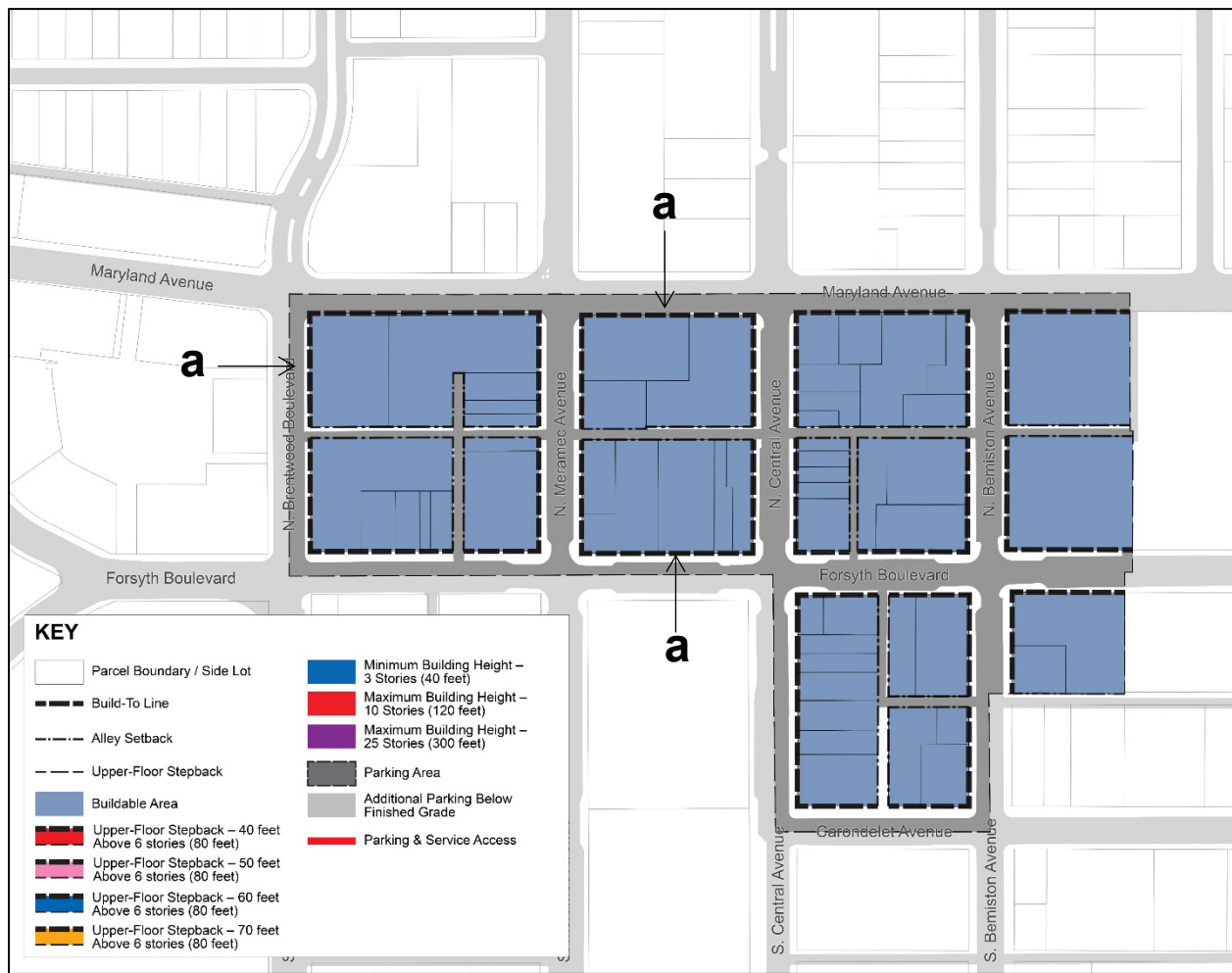
a. Exceptions: Ground floor façades may be set back from the build-to line for building entrances, open-air seating/dining areas, and other programmatic uses:

- Up to a maximum average of 12 feet.
- Up to a maximum of 25 percent of total façade length.

b. Upper floor façades may be set back from the build-to line for façade articulation:

- Up to a maximum average of 12 feet.
- Up to a maximum of 50 percent of total façade length.

FIGURE 2: Build-to Line



B. Setback

Setback refers to the distance at which the building façade will be placed from the parcel boundary, as measured from the parcel boundary.

[b] Side: 0 feet min | 5 feet max

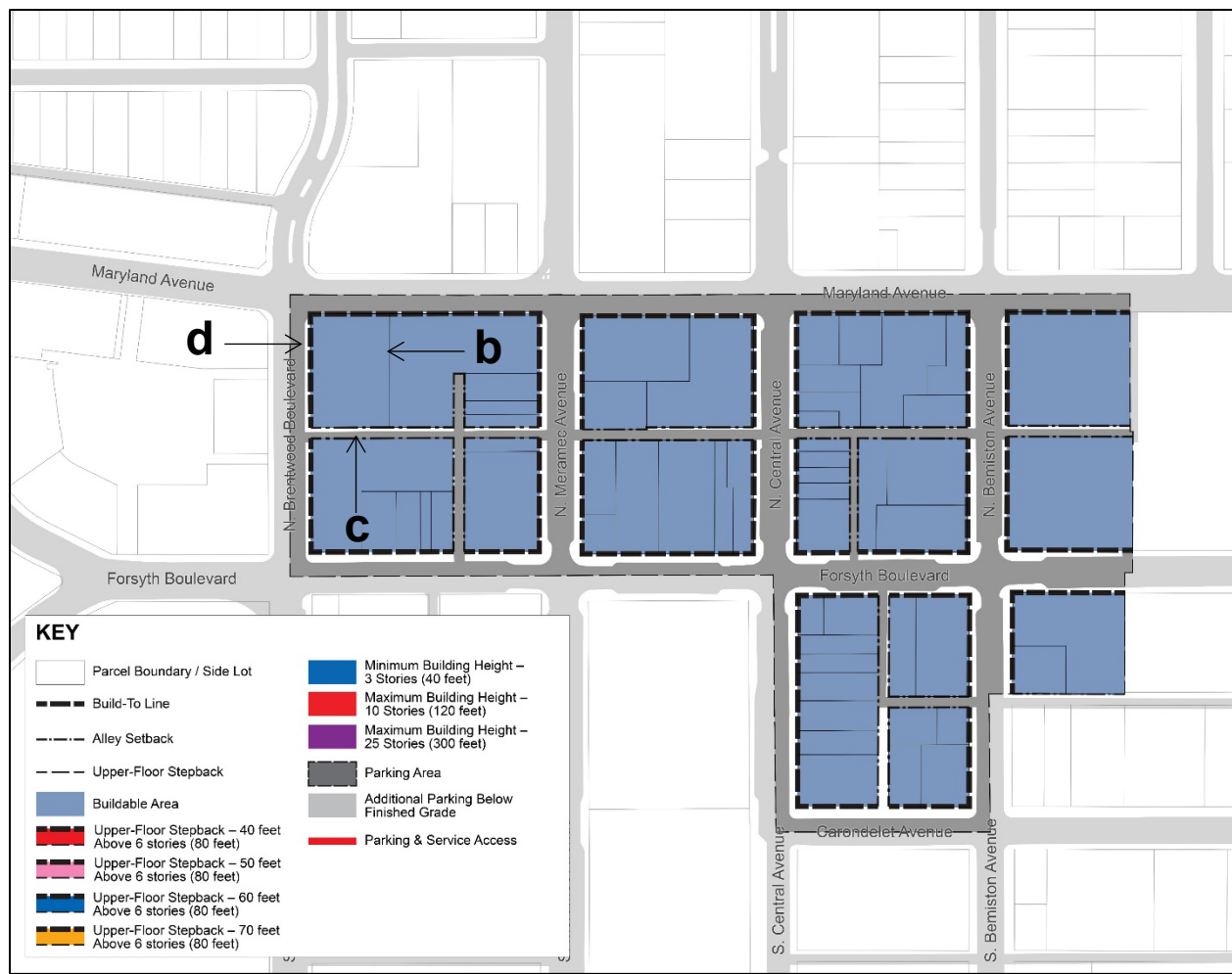
[c] Alley: 0 feet min | 15 feet max

C. Lot Occupation

Lot occupation refers to the percentage of the build-to line required to be built (see Figure 3).

[d] Primary Street: 85 percent minimum | 100 percent maximum

FIGURE 3: Setback and Lot Occupation



D. Building Height and Massing

Building height refers to the height of the building, measured in stories or feet, from the mean adjacent grade to the eave or base of the parapet.

1. Minimum Building Height (see Figure 4)

[e] 3 Stories or 40 feet.

FIGURE 4: Minimum Building Height



2. Maximum Building Height (see Figure 5)

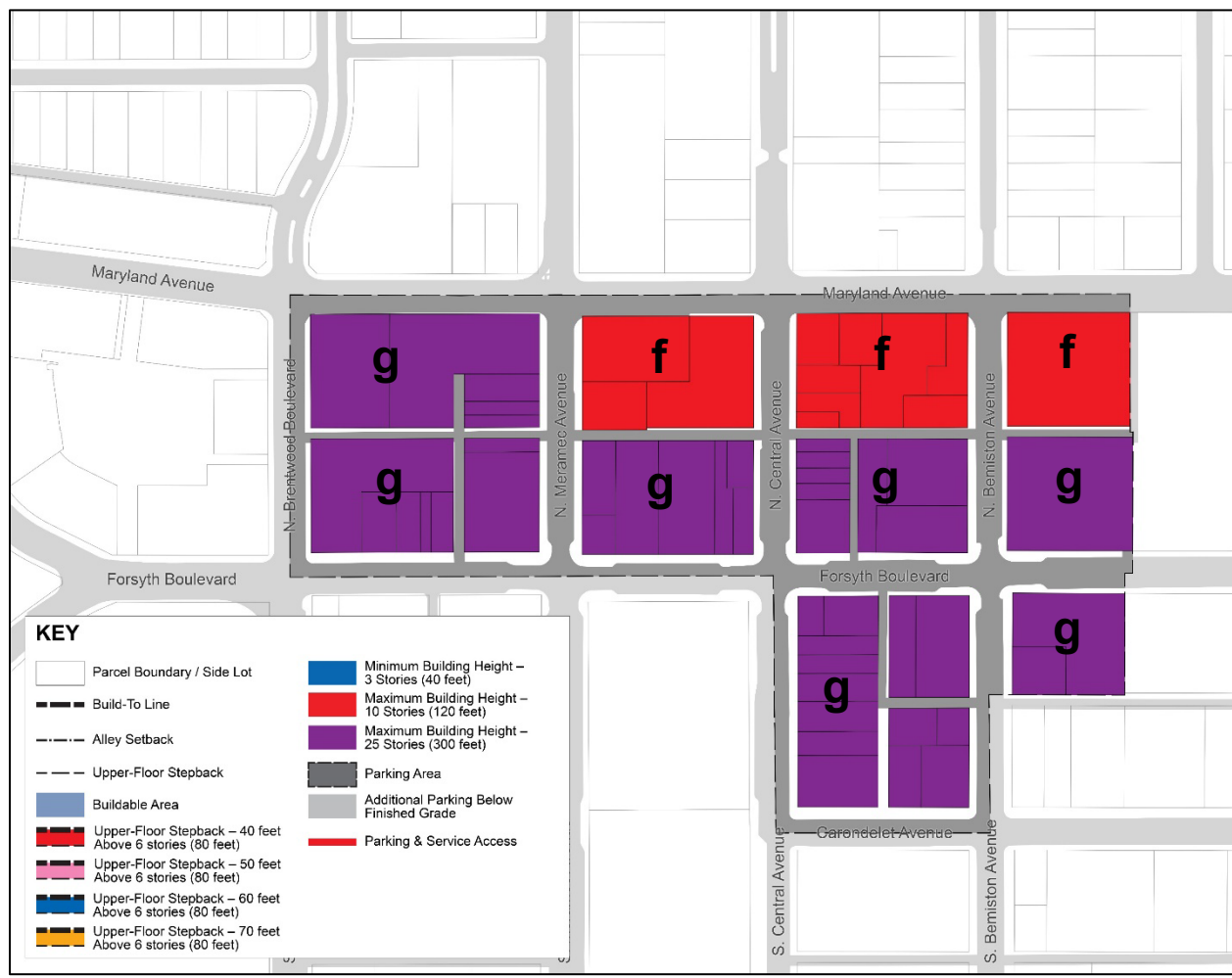
[f] 10 Stories or 140 feet ¹

[g] 25 stories or 300 feet ²

NOTES:

1. For parcels located east of N. Meramec Avenue, east of the westernmost District boundary, and north of the service alley between Maryland Avenue and Forsyth Boulevard (shown in red).
2. For all other parcels (shown in violet).

FIGURE 5: Maximum Building Height

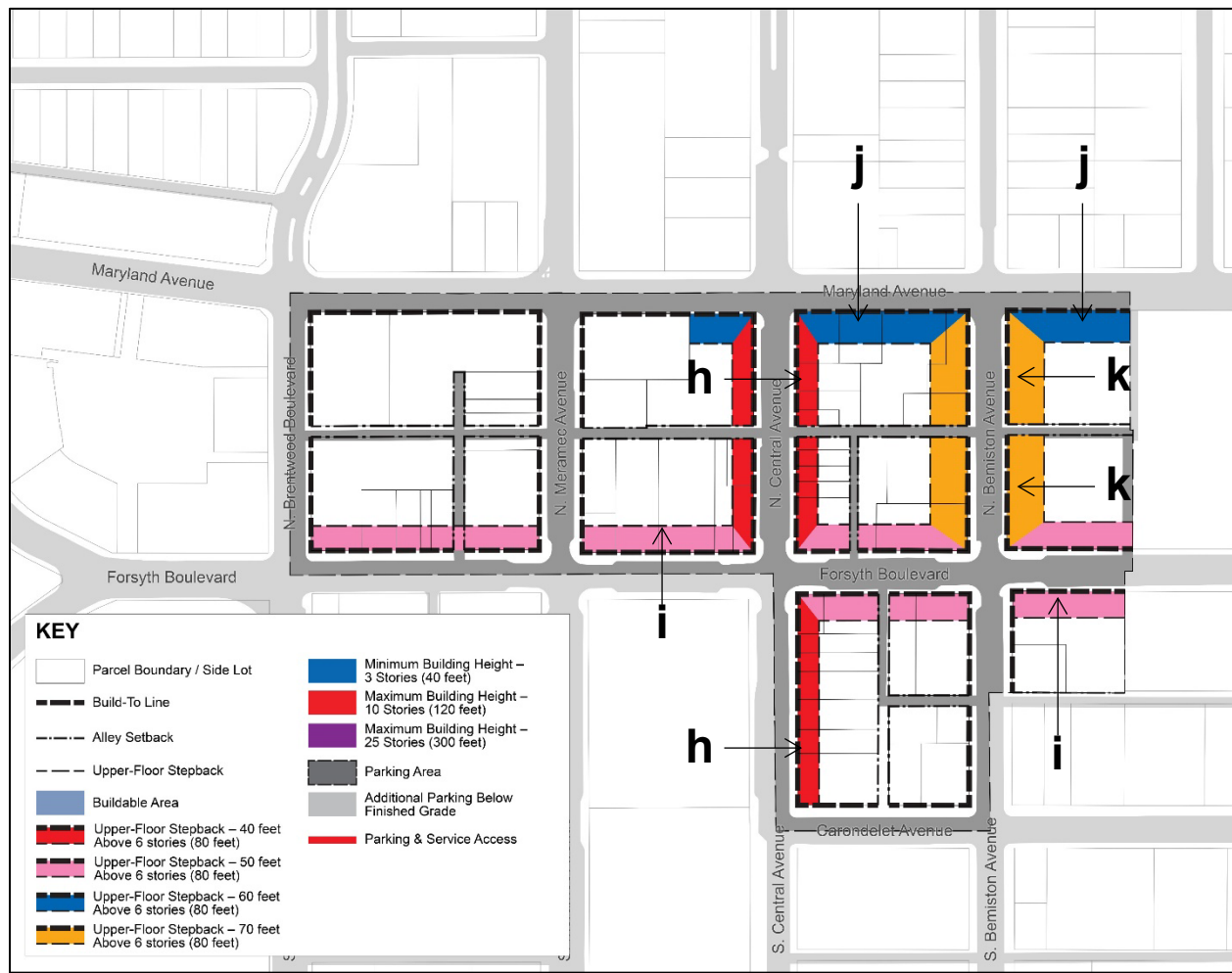


E. Upper Floor Step Back

Upper Floor Step Back refers to the setback of upper stories, required above a specified building height.

- [h] 40 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of N. Central Ave. and S. Central Ave. (shown in red)
- [i] 50 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of Forsyth Blvd. (shown in pink)
- [j] 60 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of Maryland Ave., east of N. Central Ave. (shown in blue)
- [k] 70 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of N. Bemiston Ave. (shown in yellow)

FIGURE 6: Upper Floor Step Back



F. Finished Ground Floor Level **(l,m,n,o,p need to be added to figure 6).**

Finished Ground Floor Level refers to the elevation of the finished, occupiable ground floor above adjacent grade.

[l] 0 feet above adjacent grade

G. Ground Floor Ceiling Height

Ground Floor Ceiling Height refers to the distance between the first finish floor and the ceiling of the ground floor.

[m] 12 feet minimum

[n] 16 feet maximum

H. Upper Floor Ceiling Height

Upper Floor Ceiling Height refers to the distance between the finish floor and the ceiling of the upper floor(s).

[o] 9 feet minimum

[p] 12 feet maximum

Section 410.110. Building Articulation

A. Building Facades

1. Building composition should clearly define and articulate the building's different purposes, using building elements, treatments, and architectural expression to define the various pieces that makeup the larger building.

[A] Clearly differentiate the ground floor, middle floors, and roof forms (i.e. base, middle, and cap design hierarchy).

[B] Establish a sense of scale in the design of larger buildings through vertical and horizontal articulation and material differentiation.

2. Facades longer than 70 feet need to be varied into smaller segments or "apparent faces" with building set-backs, recesses, projections above the ground floor without compromising the base. The apparent face is the length of a facade plane that is unbroken by vertical changes in depth. Limiting this length reduces the perceived bulk of a long building facade.

[C] Buildings with facades over 70 feet wide must incorporate wall projections or recesses, or changes in wall plane for 2 feet minimum depth, at least every 70 feet.

[D] Vary the skyline of the façade by at least one story not including towers, and/or include upper floor setbacks.

1. 30 percent minimum of the length of the skyline shall be varied by at least one (1) story.

[E] The roofline of a building shall not run in a continuous plane for more than 70 feet without changes in elevation. The roofline must be broken up by providing articulations in the facade of the building, change in the height of the roof, or change in color, material, forms, etc.

3. Design the building to reduce the real and perceived building mass including using the methods of mass variation and façade articulation. A combination of both methods in building design is encouraged.

4. Mass Variation methods used should reduce the actual building mass and scale while on average meeting the development standards for building height. Methods used should modulate a building floor or wall in a manner that creates a physical relief horizontally or vertically in the building mass and architectural form.

[F] Façade Articulation methods reduce the perceived building mass by providing human scale components and expressing horizontal and vertical scale. These methods include accent lines, color and material changes, and minor wall offsets.

1. Utilize minor wall offsets of up to two (2) feet.

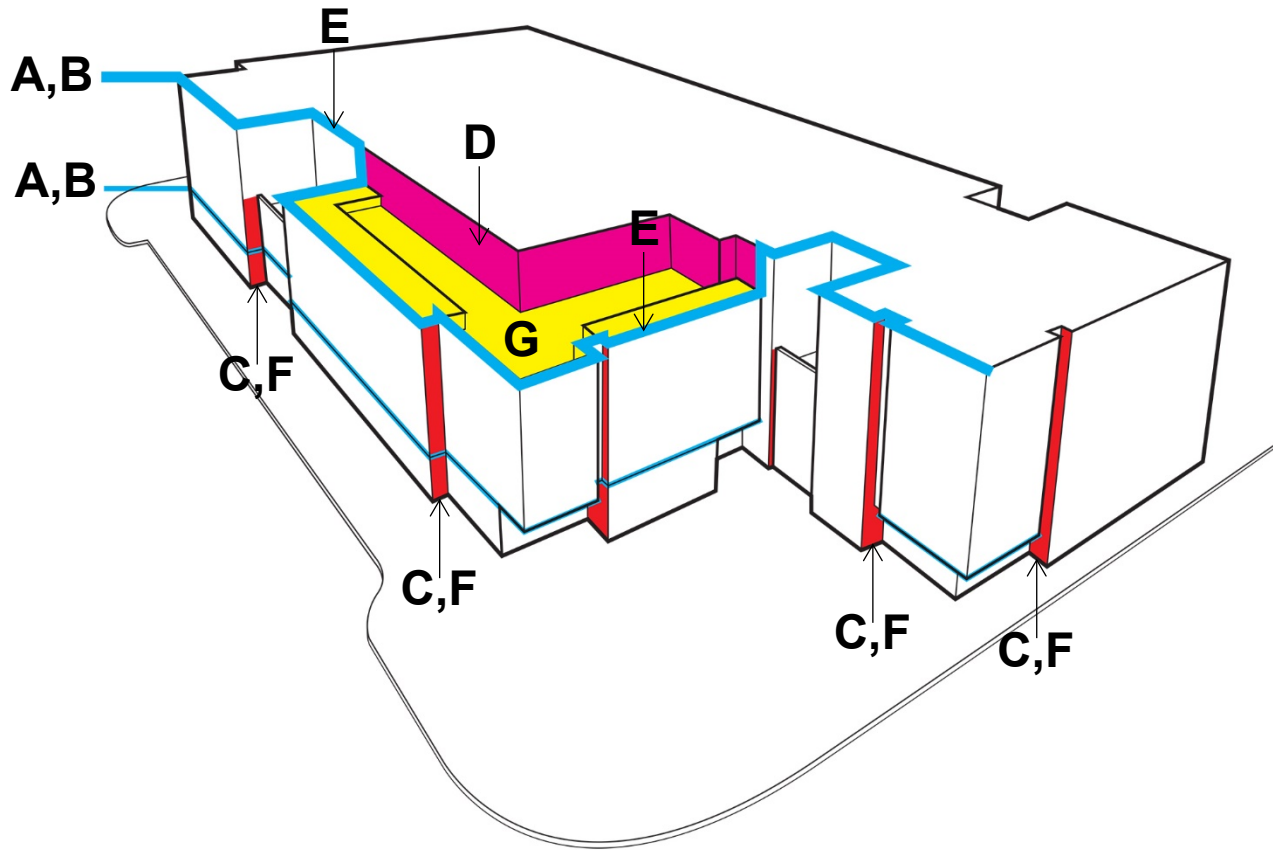
[G] Upper Floors should be distinguished from the building base. Use varied geometry in upper floors and modulate and articulate façade to reduce perceived building bulk.

1. Step-back upper floors to reduce visual impact at the pedestrian scale, also permitting balconies in the step-back.

5. Nearly vertical roofs (A-frames) and piecemeal mansard roofs (used on a portion of the building perimeter only) are prohibited

6. Whenever possible, develop with smaller lot increments. (waiting on definition from consultant)

FIGURE 7: Building Articulation



B. Block Corner Articulation

The following are block corner articulation requirements:

1. Provide signature design elements at district gateways and on prominent corners or intersections as landmarks.
2. Establish block corners with architectural articulation that relate to street activating uses.
3. The full height of tall buildings may be expressed at corners, as a way to provide variation and increased verticality on buildings with tower step-backs, or buildings may be chamfered or set-back in plan to create additional sidewalk space for outdoor program space.
4. The prominent locations include the intersection of North Central and Maryland Avenues; North Central and Forsyth Avenues; Bemiston and Maryland Avenues; and corners adjacent to major public buildings.

C. Building Base Articulation

The following building base articulation standards shall be adhered to in the design of a building base:

1. Vary base height up to the maximum height and/or between the retail use and upper floors.
2. Encourage two story retail spaces. This variation should respond to the street character and typical widths, heights, and modulation of existing buildings to create a contextually sensitive and human scaled out-door room.
3. Design the base of the building to be sufficiently flexible to accommodate a variety of store design options for future retail tenants to use in expressing their brand identities.
 - (a) A variety of storefront widths, depths, heights and transparency treatments should be possible so that the needs of different retail tenants can be met.
 - (b) Use the architectural framework to create a rhythm of glazing, entrances, and display areas.
4. Utilize variations such as slight projections, setbacks, and the use of canopies between different storefronts. Users should be able to easily identify the number of retailers in a building from a distance.
5. Utilize horizontal architectural details such as cornices, continuous balconies, frames, projections, and step-backs to differentiate the retail floor(s) from upper floors.
6. Utilize plane changes in the facade that create significant vertical and horizontal breaks, and shadow lines on the facade. Architectural projections as small as 12 inches can be effective.
7. Avoid overly long, continuous forms of weather protection along the full building façade. This diminishes the visibility of individual storefronts.
8. Consider variation in building materials or color to add texture to lower floors most visible to those at pedestrian level.

Section 410.115. Ground Floor Retail Design

The following shall govern the design for ground floor spaces designated for retail, restaurant and entertainment uses:

1. Retail, restaurant, and entertainment units shall be serviced from the rear of the building (for deliveries, trash, and other services) and shall have necessary mechanical, electrical, and plumbing (MEP) building services.
2. Units shall be designed to rectangular where possible and have a unit frontage width of no less than 20 feet to no more than 30 feet and a width-to-depth ratio of 1:3.

3. Entrances to units shall be provided at an interval of 20 feet to 40 feet.

4. 75 percent of ground floor frontage area shall be fenestrated with windows and/or doors; the area shall be calculated by multiplying the length of the ground floor façade by the height of the ground floor façade.

5. Single units shall not exceed 40 feet in width. Where larger retail, restaurant, and entertainment units are planned they should be constructed within an L-shaped unit, meeting the following requirements:

- (a) Provide a unit frontage width of 20 feet to 30 feet with a storefront.
- (b) Provide shallow, boutique retail units along the rest of the frontage with a width-to-depth ratio of 1:1.
- (c) Utilize portions of upper floor(s) and/or basement(s) where feasible to accommodate additional floor area.

6. The street façades of the storefronts shall be wrapped around corners at alleys or other building breaks for a minimum of 20 feet of the alley or building break façade, as measured from the corner.

7. Retail unit visibility:

- (a) Storefront windows shall allow visibility into the interior of retail units for a minimum of five (5) feet from the face of the glass.
- (b) The use of fully-operational, glazed, wall-size doors that can be opened to the sidewalk, is encouraged.
- (c) Enclosures and coverings for security screens and grilles shall be designed to blend in with the façade and be as inconspicuous as possible.

8. Separate retail units:

- (a) Provide two (2) to four (4) feet of opaque facade between storefronts to allow for wall display in the interior. Architecturally, the exterior separation between two storefronts can be a simple pier or wall.
- (b) Use non-reflective, clear glass for optimum transparency. Avoid fully glazed curtain walls with large areas of glass or multiple glazed storefronts that are undifferentiated. If using a window base, it shall not exceed 30 inches in height.

9. Retail unit lighting:

- (a) Night-time activation of retail streets and public safety shall be achieved by illuminating unit interiors and display windows at a reduced level of illumination on a night-lighting program after retailer operating hours.

- (b) Exterior lighting shall be fully integrated with the architectural detailing as part of the overall storefront design.
- (c) Entrances shall be well-lit, safe, and inviting.
- (d) Internal lighting shall be located within one (1) foot from the interior glass face to attract the eye to the display windows.
- (e) Lighting sources that closely replicate natural daylight's rendition of colors shall be used. The minimum Color Rendering Index (CRI) shall be 85. In a display window, the CRI shall be at least 90.
- (f) Lighting levels shall be based on the type of merchandise and overall design considerations.

10. Ancillary Activities: Allow space for ancillary activities including sidewalk vending, seating, and restaurant dining.

11. Design storefronts for three miles an hour (pedestrian speed) and for lingering to view goods or outdoor dining.

Section 410.120. Tower Placement and Design

A. Limit tower floor plate dimensions: Reduced tower floor plates limit shadows on the public realm and allow access to sky view while also improving the quality of the building's indoor environment.

B. Vary tower geometry: Varied geometry adds visual interest and helps to reduce the perceived bulk of upper floors.

C. Vary tower heights: Variation in building height can reduce the imposing massing of several large structures built adjacent to each.

D. Modulate and articulate façades: Shifts in massing to allow for upper floor terraces, green roofs, and balconies; changes in facade planes; and varied fins, frames and mullions to add depth to glass facades.

E. Vary tower placement and orientation: Variation in tower placement and orientation can increase perceived separation between towers.

F. Limit apparent face: The apparent face is the length of a facade plane that is unbroken by vertical changes in depth. Limiting this length reduces the perceived bulk of a long building facade.

Section 410.125 Encroachments

A. Encroachments refer to any building, part of a building, or other obstruction that physically intrudes upon, overlaps, or trespasses across the Build-to Line, adjacent property, or adjacent public right-of-way. Encroachments apply to building signage, awnings, balconies, bay / oriel

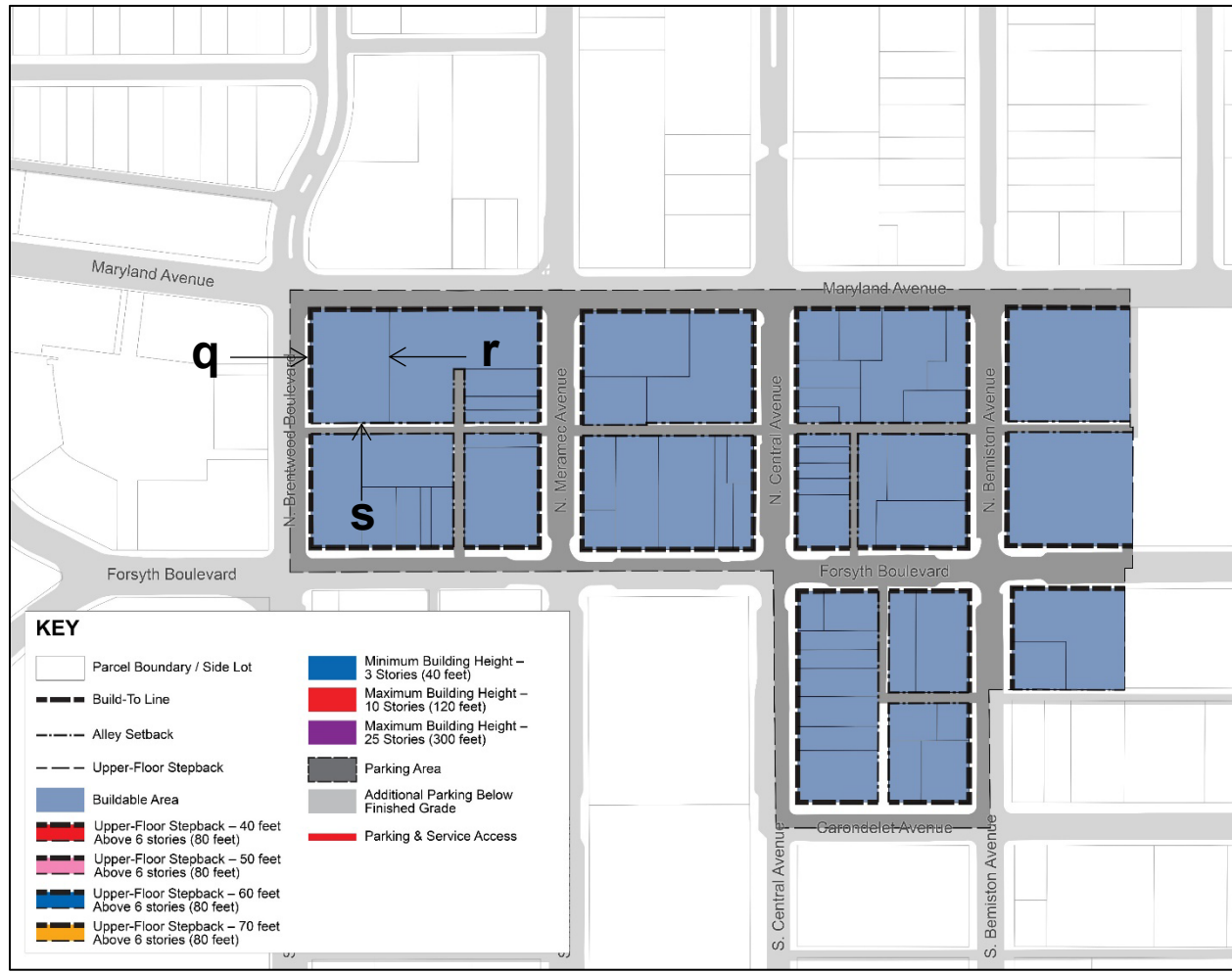
windows, and outdoor seating / dining areas. The following encroachments are permissible (see Figure number 8):

[q] Primary Street: 6 feet maximum

[r] Side: Not Permitted

[s] Alley: Not Permitted

FIGURE 8: Encroachments



Section 410.130. Building Use Requirements

A. The following are allowable ground floor uses:

1. Entertainment / Dining
2. Primary Retail ¹

NOTES:

1. Primary Retail is permitted as a conditional use only for all building frontages on North Central Ave.
2. No other uses are permitted on the ground floor.

B. The following uses are allowable on upper floors (above ground floor):

1. Secondary Retail / Service
2. Office
3. Residential

Section 410.135. Parking and Building Service

A. Location

Parking will generally be located at the interior of the block. Surface and above-grade parking is required to be setback from the Built-to Line. Below Grade Parking may be located at the Build-to Line in accordance with the following (see Figure 9):

- | | |
|---|--|
| <u>1. Setback, At- and Above Grade:</u> | <u>[t] 60 feet min from Build-to Line (Primary Street)</u> |
| <u>(dark gray)</u> | <u>[u] 0 feet min from Side</u> |
| | <u>[v] 0 feet min from Alley</u> |
| <u>2. Setback, Below Grade:</u> | <u>[w] 0 feet min from Build-to Line (Primary Street)</u> |
| <u>(light gray)</u> | <u>[x] 0 feet min from Side</u> |
| | <u>[y] 0 feet min from Alley</u> |

Section 410.140. Access

A. Parking Access Requirements

- [z] Parking and building service will generally be accessed from existing service alleys:
1. If the parcel(s) to be developed have access to or abut an existing service alley, parking and building service access is required to occur from said service alley.

2. If the parcel(s) to be developed do not have access to or abut an existing service alley, parking and building service access may occur from adjacent street(s), subject to the following requirements (see Figure 9):

- a. Access may be provided on N. Meramec Ave., N. Central Ave., S. Central Ave., or N. Bemiston Avenue;
- b. No access may be provided within 60 feet of a street corner.

FIGURE 9: Parking and Building Service Location and Access



Section 410.145. Required Parking Spaces

A. Parking shall be provided in accordance with the following:

1. Dwelling units, multiple dwelling units:

- (a) Multiple dwelling units must provide one (1) parking space for each dwelling unit.

2. Commercial, business, office, and service uses:

- (a) Off-street parking—required. Commercial, business, office, and service uses must provide at least one (1) parking space for each four hundred-fifty (450) square feet of gross floor area within the building or structure. Office buildings in excess of thirty thousand (30,000) square feet and office buildings with desired development features approved under the site plan review procedure may provide parking at the rate of one (1) parking space per six hundred (600) square feet of floor area.
- (b) Off-street parking—exempt. Retail establishments not exceeding three thousand (3,000) square feet of floor area, excluding permanent storage areas.

3. Restaurants:

- (a) Off-street parking—required. Restaurants exceeding three thousand (3,000) gross square feet of floor area, excluding permanent storage areas, shall provide one (1) parking spaces for every five (5) seats (0.2) on a pro-rated percentage for all square footage in excess of three thousand (3,000) gross square feet. (Example: 4,000 gross square foot restaurant, excluding permanent storage areas, containing 100 seats: $4,000 \text{ sq. ft.} - 3,000 \text{ sq. ft.} = 1,000 \text{ sq. ft.}$ or 25% . $100 [\text{seats}] \times 25\% = 25$. $25 \times 0.2 = 5$ parking spaces required).
- (b) Off-street parking—exempt. Off-street parking is not required for the following uses:
 - (i) Restaurants located in the Central Business District not exceeding three thousand (3,000) square feet of gross floor area, excluding permanent storage areas.
 - (ii) Cafeterias and kiosks located in office buildings designed to primarily serve the tenants of the building.
 - (iii) Restaurants located in office buildings or commercial spaces which have one hundred fifty thousand (150,000) gross square feet or more of floor area and which provide parking for such building or space as prescribed by the Zoning Ordinance.
 - (iv) Restaurants in hotels or motels.

4. Mixed-use developments. With the approval of the Board of Aldermen after an analysis by a registered professional engineer experienced in traffic and parking studies and where the same parking spaces would be used by different uses at different times of the day, there may be modifications of the parking requirements for the mixed-use development.

Section 410.150. Building Types

The purpose of the Building Types is to ensure that the buildings within the Overlay District are consistent with the character goals of the Development Standards. The Building Types are a series of model buildings for development, which are both regional in application and particular to Downtown Clayton and the Overlay District. All Building Types presented herein are permitted throughout the Overlay District.

A. Building Types Descriptions

1. Live-Work Building (see Figure 10)

Live-work units are multi-story buildings that can be used flexibly for work-live, work-work, and live-live purposes. Dwelling Units can be located above the ground floor or attached to the rear of a storefront.

Access:

1. The main entrance to each ground floor area / dwelling unit shall be directly accessible from the Primary Building Facade on the Primary Street or Side Street.
2. Where an alley is present, parking and services shall be accessed from an alley.
3. Live | Work spaces shall not be allowed where alleys do not exist; where all parking and services shall occur from the alley.
4. Loading docks, overhead doors, and other service entries are prohibited on Primary Streets and Side Streets; and are only allowed on alley frontage.

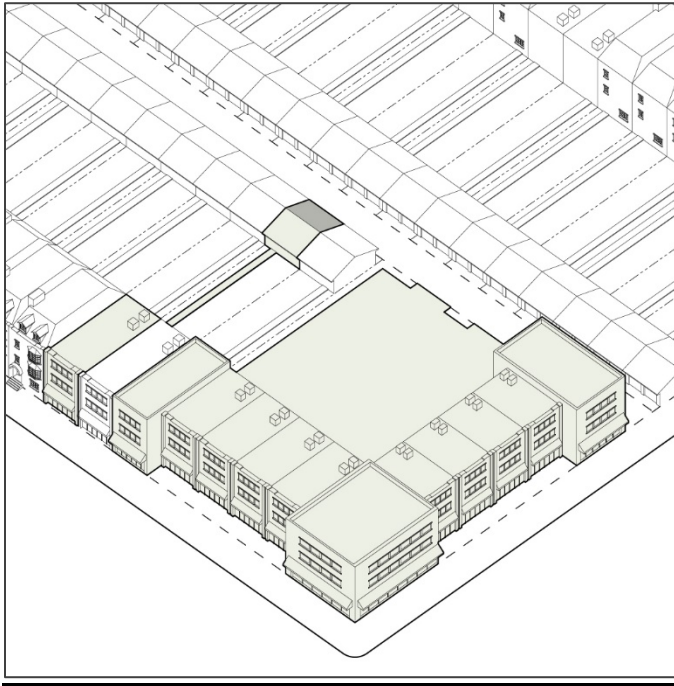
Outdoor Space

1. Front outdoor space is defined by the street Build-to-Line and allowable Frontage Types for the Building Type.
2. Rear outdoor space is defined by the back facade of the building, and its relationship to the back Property Line.
3. Side Setbacks may also be used for outdoor patios connected to other ground floor Primary Retail or Secondary Retail uses.
4. Private patios may be provided in Side Setbacks and Rear Setbacks.

Massing and Articulation

1. Buildings may contain any combination of dwelling type configurations: Flats, Townhouses, and Lofts.
2. Dwelling Units may be repetitive or unique as established by design.
3. The building shall be comprised of a singular (1) volume.

FIGURE 10: Live-Work Building



2. Flex Building

A flex building is a standard rectangular urban building form designed to accommodate a variety of uses including combinations of office, primary retail, secondary retail, and residential (see figure 11).

Access

1. The main entrance to each ground floor area shall be directly accessible from the Primary Building Facade on the Primary Street or Side Street.
2. The main entrance to each dwelling unit or non-residential areas above the ground floor shall be accessible by a street level lobby which shall be directly accessible from the Primary Building Facade on the Primary Street or Side Street.
3. Interior circulation to each dwelling unit shall be through a corridor which may be single or double loaded.
4. Where an alley is present, parking and services shall be accessed from an alley.

5. Where an alley is not present, parking and services shall be accessed from a Side Street by way of a two-way driveway.
6. Maximum eighteen (18') feet wide.
7. Loading docks, overhead doors, and other service entries are prohibited on Primary Streets and Side Streets; and are only allowed on alley frontage.

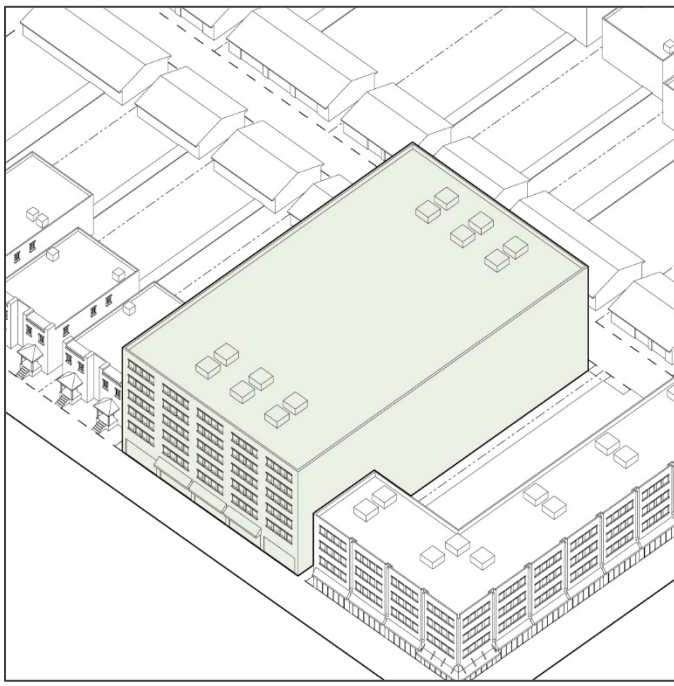
Outdoor Space

1. Front outdoor space is defined by the street Build-to-Line and allowable Frontage Types for the Building Type.
2. Rear outdoor space is defined by the back facade of the building, and its relationship to the back Property Line.
3. Side Setbacks may also be used for outdoor patios connected to other ground floor Primary Retail or Secondary Retail uses.

Massing and Articulation

1. Buildings may contain any combination of offices and/or dwelling type configurations: Flats, Townhouses, and Lofts.
2. Dwelling Units may be repetitive or unique as established by design.
3. The building shall be comprised of a singular (1) volume.

FIGURE 11: Flex Building



3. Commercial Block Building

A Commercial Block Building is a multi-story standard rectangular urban building form designed to support a mix of office, primary retail, and secondary retail uses on the ground floor with office and residential above (see figure 12).

Access

1. The main entrance to each non-residential ground floor unit shall be directly accessible from the Primary Building Facade to the Primary Street or Side Street.
2. The main entrance to each dwelling unit or non-residential area above the ground floor shall be accessible by a lobby directly accessible from the Primary Building Facade to the Primary Street or Side Street.
3. Interior circulation to each dwelling unit shall be through a corridor which may be single or double loaded.
4. Where an alley is present, parking and services shall be accessed from an alley.
5. Where an alley is not present, parking and services shall be accessed from the Side Street by way of a two-way driveway.
6. Maximum eighteen (18') feet wide.
7. Loading docks, overhead doors, and other service entries are prohibited on Primary Streets and Side Street; and are only allowed on alley frontage.

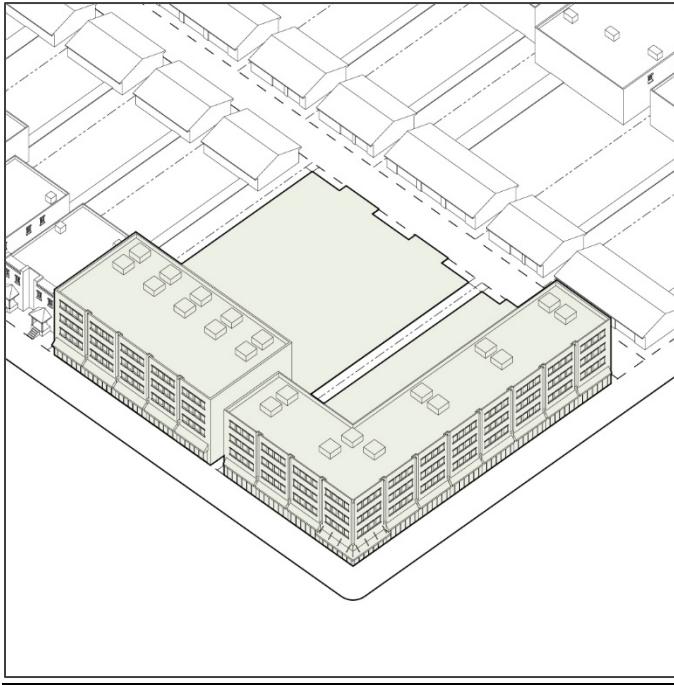
Outdoor Space

1. Front outdoor space is defined by the street Build-to-Line and allowable Frontage Types for the Building Type.
2. Rear outdoor space is defined by the back facade of the building, and its relationship to the back Property Line.
3. Side Setbacks may also be used for outdoor patios connected to other ground floor Primary Retail or Secondary Retail uses.

Massing and Articulation

1. Buildings may contain any combination of offices and/or dwelling type configurations: Flats, Townhouses, and Lofts.
2. Dwelling Units may be repetitive or unique as established by design.
3. The building shall be comprised of a singular (1) volume.

FIGURE 12: Commercial Block Building



4. High-Rise Building

High Rise Buildings are described as a tall, multiple office or multiple dwelling type in which the principal entry to building is common and the common entrance is from the primary street with common spaces for residents and/or tenants (see figure 13).

Access

The main entrance to the building shall be through a street level lobby directly accessible from the Primary Building Facade on the Primary Street or Side Street.

1. Interior circulation to each office and/or dwelling unit shall be through a corridor which may be single or double loaded.
2. Where an alley is present, parking and services shall be accessed from that alley.
3. Where an alley is not present, parking and services shall be accessed from the street by way of a two-way driveway from a Side Street.
4. Maximum eighteen (18') feet wide.

Outdoor Space

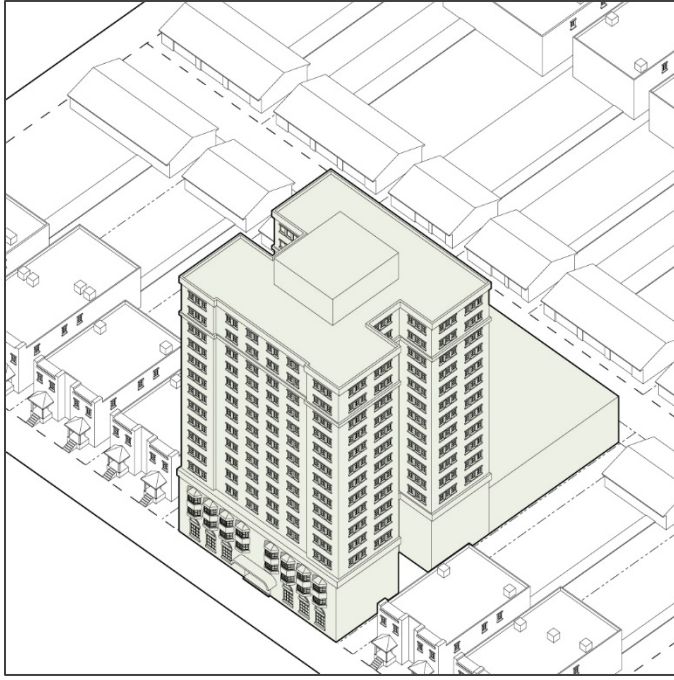
Front outdoor space is defined by the street Build-to-Line and allowable Frontage Types for the Building Type.

1. Rear outdoor space is defined by the back facade of the building, and its relationship to the back Property Line.

Massing and Articulation

1. Buildings may contain any combination offices and/or of dwelling type configurations: Flats, Townhouses, and Lofts.
2. Dwelling Units may be repetitive or unique as established by design.
3. Buildings shall be comprised of a singular (1) volume.

FIGURE 13: High-Rise Building



5. Podium Building

A Podium Building has one or more floors which meet the Build-to-Line and setback requirements with upper floors stepping back to reduce the impact of height. Often these are the tallest permissible Building Types whose Primary Building Facade must be stepped back to reduce the apparent bulk when viewed from the sidewalk (see figure 14).

Access

1. The main entrance(s) to each non-residential ground floor unit shall be directly accessible from the Primary Building Facade on the Primary Street or Side Street.
2. The main entrance to units above shall be through a lobby directly accessible from the Primary Building Facade on the Primary Street or Side Street.
3. Interior circulation to each dwelling unit shall be through a corridor which may be single or double loaded.
4. Where an alley is present, parking and services shall be accessed from an alley.

5. Where an alley is not present, parking and services shall be accessed from the primary street by way of a two-way driveway from a Side Street.
6. Maximum eighteen (18') feet wide.

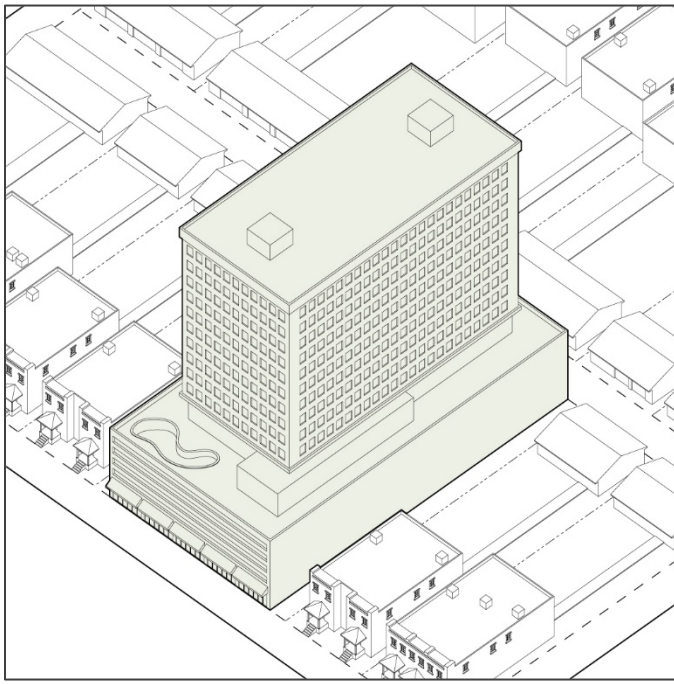
Outdoor Space

1. Front outdoor space is defined by the street Build-to-Line and allowable Frontage Types for the Building Type.
2. Rear outdoor space is defined by the back facade of the building, and its relationship to the back Property Line.
3. The primary shared open space is the Podium Level Courtyard which shall be a common exterior courtyard or roof patio.
4. The Podium Level Courtyard may include items such as decks, swimming pools, and other hardscapes; but may also contain open turf grasses, ground vegetation and trees.

Massing and Articulation

1. Buildings may contain any combination of offices and/or dwelling type configurations: Flats, Townhouses, and Lofts.
2. Dwelling Units may be repetitive or unique as established by design.
3. Buildings shall be comprised of two (2) volumes including a podium and a tower.

FIGURE 14: Podium Building



6. Liner Building

A Building Type specifically designed to mask a parking lot, parking garage, public assembly, or large retail facility (big box) from a street (see figure 15).

Access

1. The main entrance to each ground floor area / Dwelling Unit shall be directly accessible from the Primary Building Facade from the Primary or Side Street.
2. The main entrance to each Dwelling Unit or non-residential areas above the ground floor shall be accessible by a street level lobby which shall be directly accessible from the Primary Building Facade from the Primary or Side Street.
3. Interior circulation to each dwelling unit shall be through a corridor which shall be single loaded.
4. Where an alley is present, parking and services shall be accessed from an alley.
5. Where an alley is not present, parking and services shall be accessed from a Side Street by way of a two-way driveway.
6. Maximum eighteen (18') feet wide.

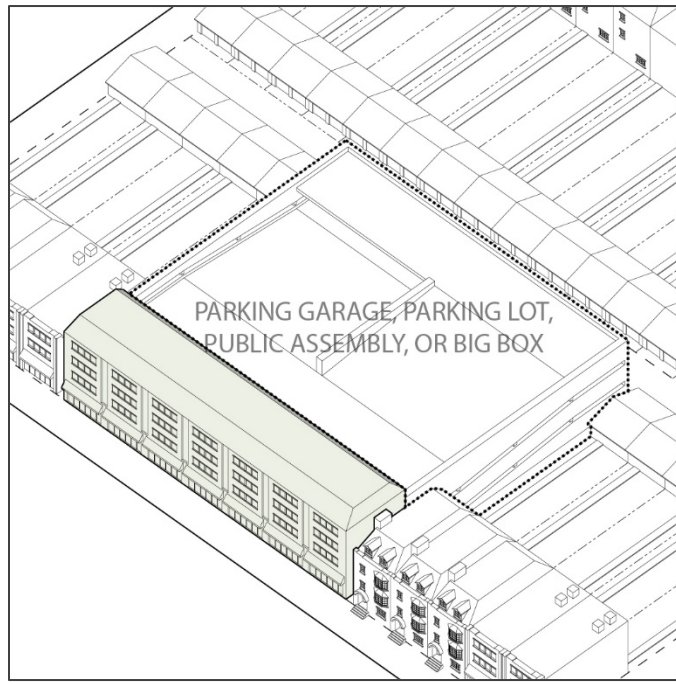
Outdoor Space

1. Front outdoor space is defined by the street Build-to-Line and allowable Frontage Types for the Building Type.
2. There are no rear outdoor space requirements for Liner Buildings.

Massing and Articulation

1. No structured parking within any block shall exceed the eave height of any building within forty feet (40') of the structured parking; and in no case be taller than the Liner Building.
2. Buildings may contain any combination of offices and/or of dwelling type configurations: Flats, Townhouses, and Lofts.
3. Dwelling Units may be repetitive or unique as established by design.
4. The building shall be comprised of a singular (1) volume.

FIGURE 15: Liner Building



Section 410.155 Frontage Types

The purpose of the Frontage Types is to provide a series of options for how the chosen Building Type will address the street, in order to provide variety in building features and encourage vibrant and active street life. Frontage types vary in their suitability for different uses. For example, the Shopfront Frontage Types is suitable for primary retail uses, while the balcony is suitable for residential uses. Depending upon the intended use of the Building Type, the Frontage Types will define the characteristics of the public space of the Overlay District.

A. Each Building Type must feature at least one (1) Frontage Type on the Ground Floor and at least one (1) Frontage Type on the Upper Floor(s) but may feature multiple Frontage Types.

B. All Frontage Types presented herein are permitted throughout the Overlay District.

Section 410.160. Frontage Types Descriptions

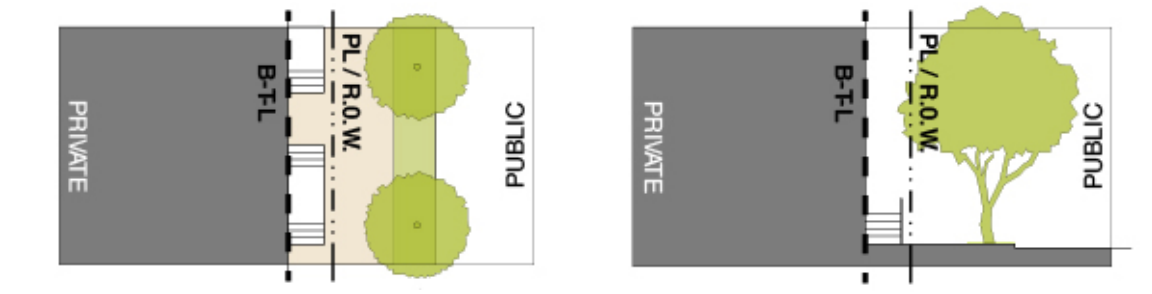
A. Stoop

A Frontage Type wherein the Building Facade is close to the front Property Line and the ground story is elevated from the sidewalk, securing privacy for the windows and front rooms; A Stoop is usually an exterior stair and landing which engages the sidewalk forward of the Build-to-Line. The Stoop should be elevated and the stairs from the Stoop may lead directly to the sidewalk or may be side loaded. A roof may also cover the Stoop. Stoops may be at grade or raised to transition into the building. This Frontage Type encroaches the Build-to-Line only; and may not encroach the Property Line into Public Rights-of-Way (see Figure 16).

Dimensional Requirements

1. Primary Street and Side Street B-T-L on all Building Types with a zero (0') foot front setback may have an additional five (5') feet to ten (10') feet setback and must correspond to the depth of the stoop, such that the face of the stoop is at the zero (0') foot mark.
2. May not be utilized within thirty feet (30') from a street corner.
3. Minimum depth of five (5') feet.
4. Minimum length of five (5') feet.
5. May not be elevated more than three (3') feet above sidewalk.
6. Fences or Walls defining the Stoop must not exceed thirty (30") inches from the highest adjacent grade.

FIGURE 16: Stoop Frontage Type



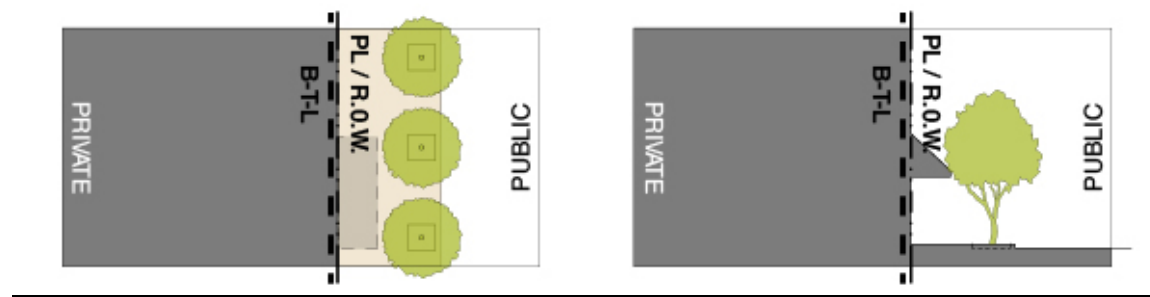
B. Awnings and Canopies

A Frontage Type wherein the Building Facade of a commercial or retail building is at or near the Build-to-Line and the canopy or awning element may overlap the sidewalk, occurring at the ground floor level only. The canopy is a structural, cantilevered, shed roof and the awning is canvas or similar material and is often retractable. The coverings should extend far enough from the building to provide adequate protection for pedestrians. Awnings may only cover openings so as to not cover the entire facade. This Frontage Type is appropriate for retail and commercial uses only because of the lack of a raised ground story. This Frontage Type may encroach the Build-to-Line and the Property Line into Public Rights-of-Way. Awnings and Canopies on Building Types setback from Public Rights-of-Way are not regulated (see Figure 17).

Dimensional Requirements

1. Shall be located a minimum of eight (8') feet above the adjacent sidewalk when encroaching a Public Right-of-Way.

FIGURE 17: Awnings and Canopies Frontage Type



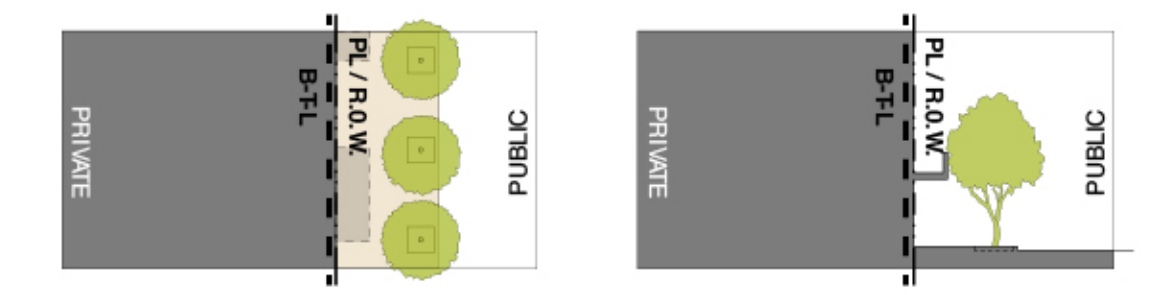
C. Balconies

A Frontage Type which occurs forward of the Build-to-Line and encroaches Public Rights-of-Way but shall not extend past the curb line. Balconies may have roofs, but must be open, non-air-conditioned parts of the Buildings; and may only be located on the second story or higher. On corners, balconies may wrap around the side of the Building Facade facing the Side Streets. This Frontage Type may encroach the Build-to-Line and the Property Line into public rights-of-way. Balconies on Building Types setback from Public Rights-of-Way are not regulated (see Figure 18).

Dimensional Requirements

1. Must have a maximum depth of six (6') feet.
2. Must have a minimum clear height of ten (10') feet above adjacent sidewalk or other balconies.
3. Must have a maximum coverage of forty percent (40%) of the Building Facade.

FIGURE 18: Balconies Frontage Type



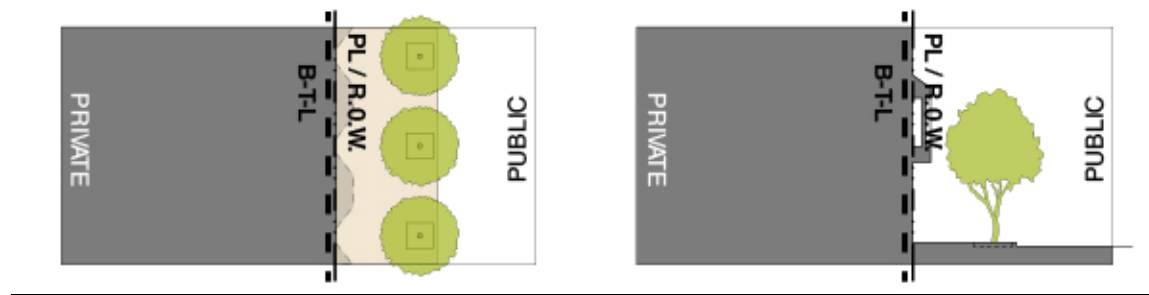
D. Bay Windows and Oriel Windows

A Frontage Type wherein windows are permitted to protrude forward of the Build-to-Line and Property Line into Public Rights-of-Way. Bay Windows on the ground floor may encroach the Property Line into Public Rights-of-Way if approved; and Bay Windows projecting from the second floor or higher may encroach within Public Rights-of-Way by right. Bay windows shall have fenestration on both front and side surfaces. This Frontage Type may encroach the Build-to-Line and the Property Line into Public Rights-of-Way. Bay Windows on Building Types setback from Public Rights-of-Way are not regulated (see Figure 19).

Dimensional Requirements **(consultant to suggest maximum percentage of façade coverage to be added here).**

1. Must have a minimum clear height of ten (10') feet above adjacent sidewalk.
2. Maximum depth of six (6') feet.
3. Maximum length of eight (8') feet.

FIGURE 19: Bay Windows and Oriel Windows Frontage Type



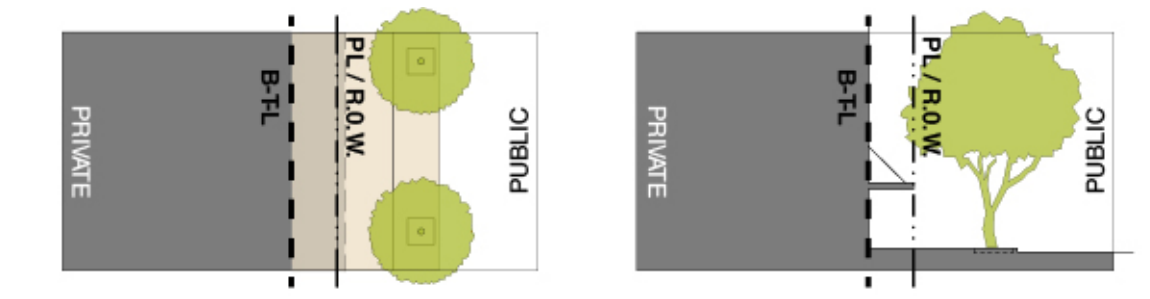
E. Shopfront

A Frontage Type wherein a Storefront facade is at or close to the edge of the Build-to-Line with an entrance at sidewalk grade. An overhang, canopy, shading element or awning that encroaches over the sidewalk is required. This Frontage Type encroaches the Build-to-Line only; and may not encroach the Property Line into Public Rights-of-Way. Shopfronts on Building Types setback from Public Rights-of-Way are not regulated (see Figure 20).

Dimensional Requirements

1. Primary Street and Side Street B-T-L on all Building Types with a zero (0') foot front setback may have an additional five (5') feet to ten (10') feet setback and must correspond to the depth of the shopfront, such that the face of the overhang on the shopfront is at the zero (0') foot mark.
2. May not be utilized within thirty feet (30') from a street corner.

FIGURE 20: Shopfront Frontage Type

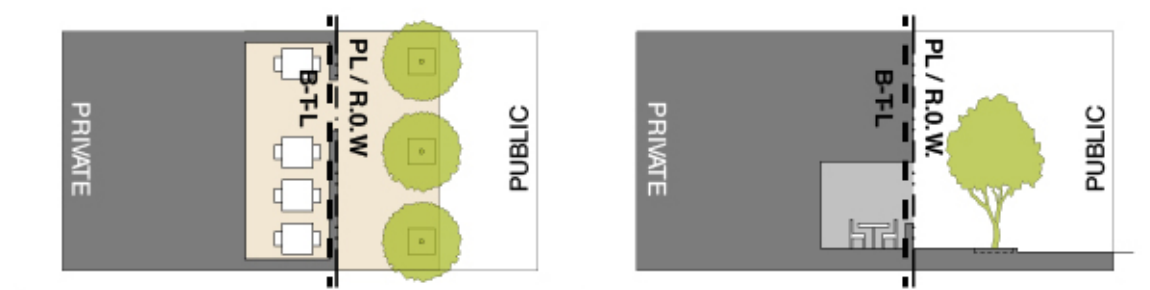


F. Café A Frontage Type wherein a storefront accommodates outdoor seating for restaurants and cafes. It may be setback from the edge of the pedestrian realm and may include roll up doors and bi-fold doors. Café frontage may be covered or open to the air. This Frontage Type may not encroach the Build-to-Line, nor the Property Line into Public Rights-of-Way. Cafes on Building Types setback from Public Rights-of-Way are not regulated (see figure 21).

Dimensional Requirements

1. Maximum depth of fifteen (15') feet from the Build-to-Line.
2. Fences and walls are permitted up to a height of thirty six (36") inches from the adjacent sidewalk.

FIGURE 21: Café Frontage Type



Article IV

~~Downtown Overlay Zoning District~~ RESERVED

Section 410.135 **Purpose Statement** ~~{Ord. No. 5814 §4a.1, 4-27-2004}~~

- A. ~~The Downtown Overlay Zoning District (hereinafter known in this Article as the DT Overlay District) applies to selected blocks in the High Density Commercial District which have been targeted to remain retail centers. The area encompassed in the Downtown Overlay Zoning District is adjacent to the heart of commercial and service activities in the City of Clayton. Similar to the CBD Core Overlay Zoning District, the Downtown Overlay Zoning District is intended to maintain a "pedestrian friendly" setting, but allows for additional height with stepback provisions. In order to maintain this area as "pedestrian friendly", structures must be human in scale. Building mass, density and frontage variations should create a visually attractive and inviting streetscape within the urban context.~~
- B. ~~The purpose of these regulations is to foster appropriate use of existing structures and enable compatible redevelopment where reuse is not feasible, which serves the following goals:~~
- ~~1. Promote structures that have sidewalk frontage suitable for smaller retail and service activities;~~
 - ~~2. Stimulate designs that minimize scale and mass as perceived from the sidewalk;~~
 - ~~3. Avoid regimentation and visual uniformity along the sidewalk frontage;~~
 - ~~4. Encourage harmonious architecture, which preserves the essential character of the district by variations in entrance size, setback, height and the use of creative and varied sidewalk window and display; and~~
 - ~~5. Design buildings which use facade materials that are distinctive.~~

Section 410.140 ~~Location of Overlay Zone~~
~~{Ord. No. 5814 §4a.2, 4-27-2004}~~

~~The DT Overlay Zoning District includes those parcels bounded by Meramec Avenue on the east and by Maryland Avenue on the north and by Forsyth Boulevard on the south and by Brentwood Boulevard on the west.~~

Section 410.145 ~~Significance of Designation~~
~~{Ord. No. 5814 §4a.3, 4-27-2004}~~

~~The regulations of the overlay district shall supersede or supplement, as applicable, the regulations of the base zoning district. Where conflict results between the regulations of the overlay districts and the provisions of the base zoning district, the provisions of the overlay districts shall control.~~

Section 410.150 ~~Uses Permitted~~
~~{Ord. No. 5814 §4a.4, 4-27-2004}~~

~~The uses permitted by right and by conditional use permit are listed in the Table of Permitted Uses found in the base zoning district. If a "P" (permitted by right) or a "C" (permitted by conditional use permit) is not indicated for a use in the base zoning district or a use is not included in the base zoning district, it is prohibited. All ground floor uses must be retail in nature but may include, personal care services, dry cleaning facilities, food and beverage service uses, consumer service offices (limited to financial institutions including banks, savings and loans and credit unions, real estate offices and travel agencies) or governmental offices within the Downtown Overlay District.~~

Section 410.155 ~~Planned Unit Development~~
~~{Ord. No. 5814 §4a.5, 4-27-2004; Ord. No. 6025 §1, 8-12-2008}~~

~~A. A development proposal shall be eligible for consideration under the planned unit development option per the provisions of Chapter 405 when the development incorporates two (2) of the following five (5) categories of use:~~

- ~~1. Office use;~~
- ~~2. Retail use;~~
- ~~3. Residential use;~~
- ~~4. Public parking (as defined in these regulations);~~
- ~~5. Hotel use~~

~~and exceeds the maximum height or maximum FAR requirements of the Downtown Overlay District.~~

NOTE: For the purposes of this Article, hotels containing a public restaurant will be considered eligible for a planned unit development.

- B. ~~Limitation.~~ No change, alteration, modification or waiver authorized by a "PUD" shall authorize a change in the uses permitted in any district or a modification with respect to any zoning district standard made specifically applicable to planned unit developments, unless such district regulations expressly authorize such a change, alteration, modification or waiver.

Section 410.160 Rezoning Amendment
{Ord. No. 5814 §4a.6, 4-27-2004}

The "PUD" application process includes a request for rezoning pursuant to the provisions of Chapter 405. Rezoning must be completed concurrently with the approval process for the development plan.

Section 410.165 Maximum Building Height
{Ord. No. 5814 §4a.7, 4-27-2004}

- A. ~~The maximum building height in the DT Overlay District is seven (7) stories, not to exceed ninety (90) feet. The maximum building height may be modified subject to the provisions and requirements of the planned unit development process outlined in Chapter 405.~~
- B. ~~For buildings permitted to exceed the maximum height through the planned unit development process, a fifteen (15) foot stepback (upper story building setback) shall be provided beginning at the third (3rd) story level or thirty (30) feet above grade, whichever is less. However, the Plan Commission shall have the authority to require a different stepback(s) for buildings dependent upon building height, lot size and other relevant factors. Stepbacks shall be proportional to the amount of building height. The upper story stepback shall be provided along all building elevations with street frontage, excluding alleys.~~

Section 410.170 Maximum Floor Area
{Ord. No. 5814 §4a.8, 4-27-2004}

The maximum floor area ratio (FAR) is 3.0. The maximum floor areas may be modified subject to the provisions and requirements of the planned unit development process outlined in Chapter 405.

Section 410.175 Setback/Stepback Requirements
{Ord. No. 5814 §4a.9, 4-27-2004}

- A. ~~The following are setback/stepback requirements in the Downtown Overlay Zoning District:~~
1. ~~Front yard.~~ There is no minimum front yard setback requirement in the Downtown Overlay District. The following modifications are permitted/required under the following conditions:
 - a. ~~For buildings in excess of two and one half (2½) stories but not exceeding seven (7) stories~~

in height, an additional ten (10) foot stepback (upper story building setback) shall be provided beginning at the third (3rd) story level or thirty (30) feet above grade, whichever is less. The upper story stepback shall be provided along all building elevations with street frontage, excluding alleys.

b. ~~Restaurants may offer customer seating and food service only as authorized by the City Plan Commission and upon receipt or renewal of the annual outdoor dining permit.~~

2. ~~Rear yard.~~ The required setback in Downtown Overlay Districts is a minimum of fifteen (15) feet. Modifications to the required rear yard setback are permitted/required under the following conditions:

a. ~~Where a corner lot exists and thereby two (2) front yards, the property line opposite to the front yard line with the greater street frontage shall be considered the side yard and the property line opposite to the front yard line with the lesser street frontage shall be considered the rear yard.~~

b. ~~For buildings in excess of two and one half (2½) stories but not exceeding seven (7) stories in height, an additional ten (10) foot stepback (upper story building setback) shall be provided beginning at the third (3rd) story level or thirty (30) feet above grade, whichever is less. The upper story stepback shall be provided along all building elevations with street frontage, excluding alleys.~~

c. ~~An accessory building not exceeding twenty (20) feet in height may occupy up to thirty percent (30%) of the area of a required rear yard but no accessory building shall be closer than ten (10) feet to the main building nor closer than five (5) feet to any rear property line.~~

d. ~~Outside stairways, tower balconies or fire escapes may project no more than four (4) feet beyond the face of the wall.~~

e. ~~Roof eaves may project no more than three (3) feet beyond the face of the wall.~~

f. ~~Window sills, bay windows, belt courses and similar architectural features, as well as rain leaders and chimneys, may project no more than two (2) feet beyond the face of the wall.~~

3. ~~Side yard setbacks.~~

a. ~~There are no minimum or maximum side yard setbacks provisions in this district except where a lot abuts a dwelling district, a side yard of at least five (5) feet shall be provided.~~

b. ~~For buildings in excess of two and one half (2½) stories but not exceeding seven (7) stories in height, an additional ten (10) foot stepback (upper story building setback) shall be provided beginning at the third (3rd) story level or thirty (30) feet above grade, whichever is~~

~~less. The upper story stepback shall be provided along all building elevations with street frontage, excluding alleys.~~

Section 410.180 Off Street Parking and Loading Requirements
{Ord. No. 5814 §4a.10, 4-27-2004}

~~Every principal commercial structure must provide off street parking in accordance with Chapter 405.~~

Section 410.185 Site Plan Review and Design Guidelines
{Ord. No. 5814 §4a.11, 4-27-2004}

~~A. *Site Plan Review.* Site plan review, pursuant to the procedures and standards outlined in Chapter 405, is required for any development or redevelopment proposal over ten thousand (10,000) square feet in gross floor area.~~

~~B. *Site Plan Review Design Guidelines.*~~

~~1. The following guidelines shall be applied by the City's Plan Commission/Architectural Review Board for development proposals located in the Downtown Overlay Zoning District:~~

~~a. Footprint geometry should be square and true with the roadway to the extent possible. Odd shapes and building orientation which competes with the total urban setting should be avoided.~~

~~b. Parking should be located within the City block interior.~~

~~c. Surface parking should not abut any sidewalk.~~

~~d. All ground floor uses must be retail in nature but may include, personal care services, dry cleaning facilities, food and beverage service uses, consumer service offices (limited to financial institutions including banks, savings and loans and credit unions, real estate offices and travel agencies) or governmental offices within the Downtown Overlay District.~~

~~e. Additionally, such buildings and uses must incorporate street front windows creating interest at the street level. Furthermore, buildings should be sited in a manner so as to achieve a pedestrian friendly appearance and feel.~~

~~2. In applying these guidelines, the Plan Commission shall have the discretion to consider alternatives and modifications if their strict application will result in unusual practical difficulties or particular hardship or if the Plan Commission determines that such alternatives or modifications to these guidelines will service the best interests of the City.~~

Section 410.190 **Architectural Review Board Guidelines**
{Ord. No. 5814 §4a.12, 4-27-2004}

~~A. The guidelines of the Architectural Review Board are as follows:~~

- ~~1. Party wall development should be encouraged to ensure a continuous building facade.~~
- ~~2. Building skylines should provide interest through introduction of compatible shapes and roof forms. Long uninterrupted cornices should be avoided.~~
- ~~3. Facade relief should be incorporated into all building elevations. Long uninterrupted elevations should be avoided.~~
- ~~4. Window openings should be incorporated into all building elevations. Blank walls, long horizontal openings, odd shapes and glass walls should be avoided.~~
- ~~5. Street level (ground floor) elevation facing the street should be storefront architecture with large show windows interrupted at regular intervals with building piers and generous entrances. Blank walls, long uninterrupted show windows, odd shaped and small show windows should be avoided.~~
- ~~6. Parking structures abutting the street should have ground level retail, commercial service and food establishments facing the sidewalk. The upper story should be of design material and color compatible with the urban setting.~~

Chapter 410 Overlay and Urban Design Zoning District
Article I
Section 410.020 **Districts**

[Ord. No. 5814 §1(1a.4), 4-27-2004; Ord. No. 6277 §1, 6-25-2013]

A. The following zoning districts are established within the Central Business District in order to implement the recommendations of the Master Plan:

1. *Base zoning districts.*
 - a. "HDC" High Density Commercial.
 - b. "R-3" and "R-4" (One- and Two-Family and Low Density Multiple-Family).
 - c. "R-7" High Density Multiple-Family.
 - d. "C-1" (Neighborhood Commercial) and "C-2" (General Commercial).
 - e. PUD Planned Unit Development.
 - f. SDD Special Development District.

- g. "S-1" Service District.
- 2. *Overlay zoning districts.*
 - a. ~~CBD Core Overlay District.~~
 - a. Northeast Downtown Overlay Zoning District
 - b. ~~Downtown Overlay District.~~

Re-letter remaining list

- c. Clayton Plaza Overlay District.
- d. Central Station Transit Oriented Development (TOD).
- e. Forsyth Station Transit Oriented Development (TOD).
- f. Maryland Gateway Overlay District.

Chapter 410 Overlay and Urban Design Zoning District
Article I Overlay Zoning Districts
Section 410.055 **Architectural Review**

[Ord. No. 5814 §1(1a.11), 4-27-2004]

The architectural review standards and procedures set forth in Chapter **405** of the Municipal Code apply to all development proposals within the overlay zoning districts established by these regulations, except for the Northeast Overlay Zoning District which has district specific standards.

Chapter 410 Overlay and Urban Design Zoning District
Article II Definitions
Section 410.070 **Definitions**

[Ord. No. 5814 Art. 2a, 4-27-2004]

A. *General.* Unless a contrary intention clearly applies, the following words and phrases shall have the meanings given in the following definitions for the purposes of these regulations. Words and phrases which are not defined shall be given their usual meaning except where the context clearly indicates a different or specific meaning

B. Words used in the present tense shall include the future; the singular number shall include the plural and the plural of the singular; the word "*premises*" shall include the word "*structure*" and "*building*"; the word "*shall*" is mandatory and not directory; the words "*used*" or "*occupied*" include the words "*intended*", "*designed*" or "*arranged to be occupied*"; the word "*lot*" includes the words "*plot*" or "*parcel*"; and the word "*person*" includes a firm, association, organization, partnership, trust, company or corporation as well as an individual. Any word not herein defined shall be as defined in any recognized standard English dictionary.

C. *Definitions.*

SETBACK

The required minimum horizontal distance between the building line and the related front, side and rear property lines.

STEPBACK

The required minimum horizontal distance between the building line of an upper story and the related

front, side and rear property lines.

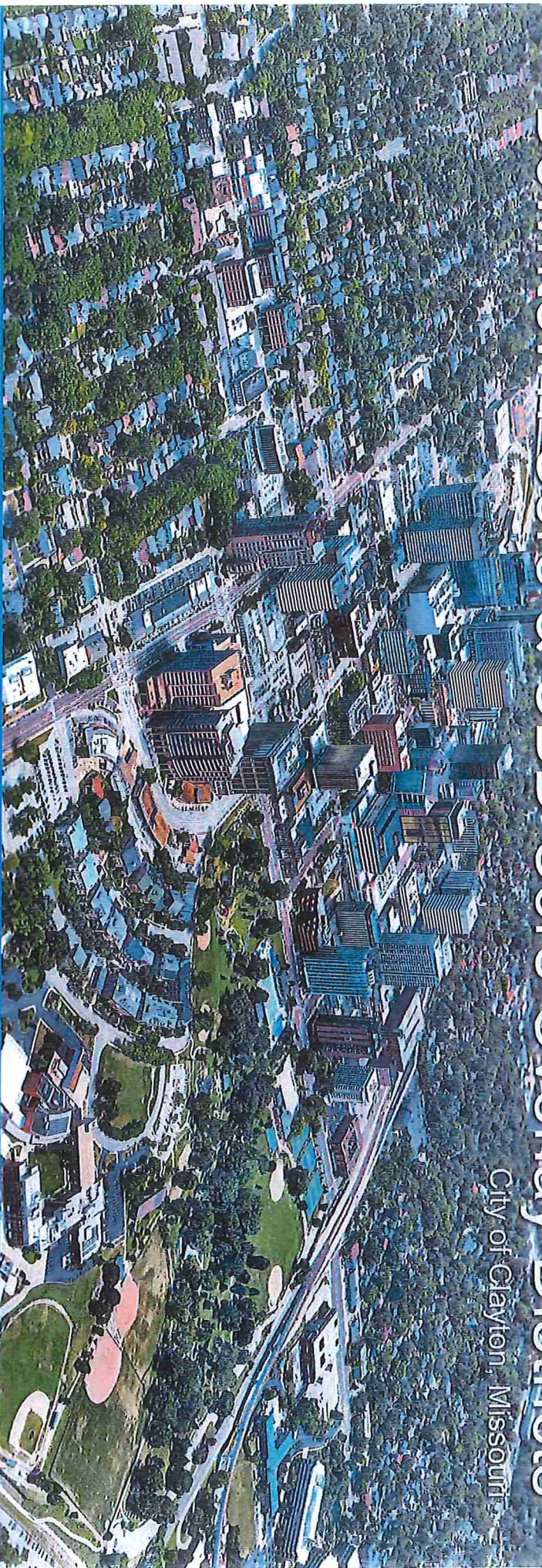
STANDARDS

Mandatory regulations. Standards are indicated by use of the terms "*shall*" and "*must*".

End of document

Design & Development Guidelines:: Downtown Core & CBD Core Overlay Districts

City of Clayton, Missouri



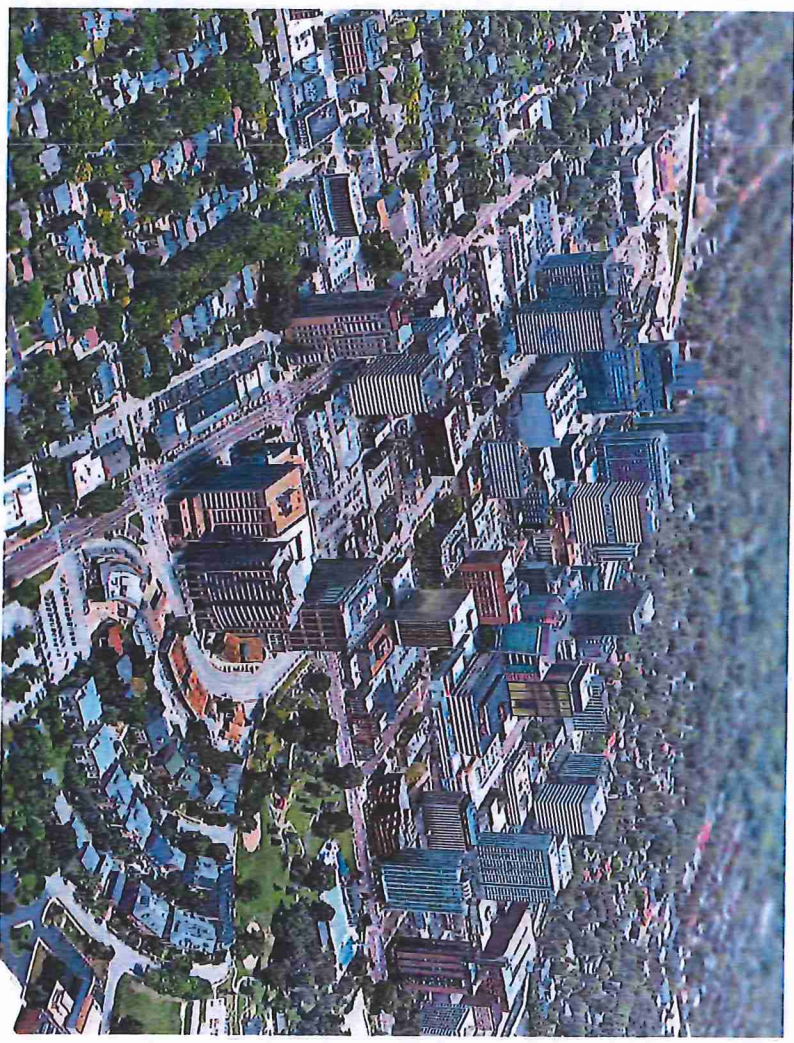
Final Draft Development Standards & Design Guidelines

PLAN COMMISSION INFORMATIONAL PRESENTATION

June 21, 2021

AGENDA

- Meeting Objective
- Engagement Activities to Date
- Decision-Making Summary
- Final Draft Development Standards & Design Guidelines
 - *Statement of Intent*
 - *Final Draft Development Standards Recommendations*
 - *Final Draft Design Guidelines Outline*
- Q&A



DESIGN & DEVELOPMENT GUIDELINES

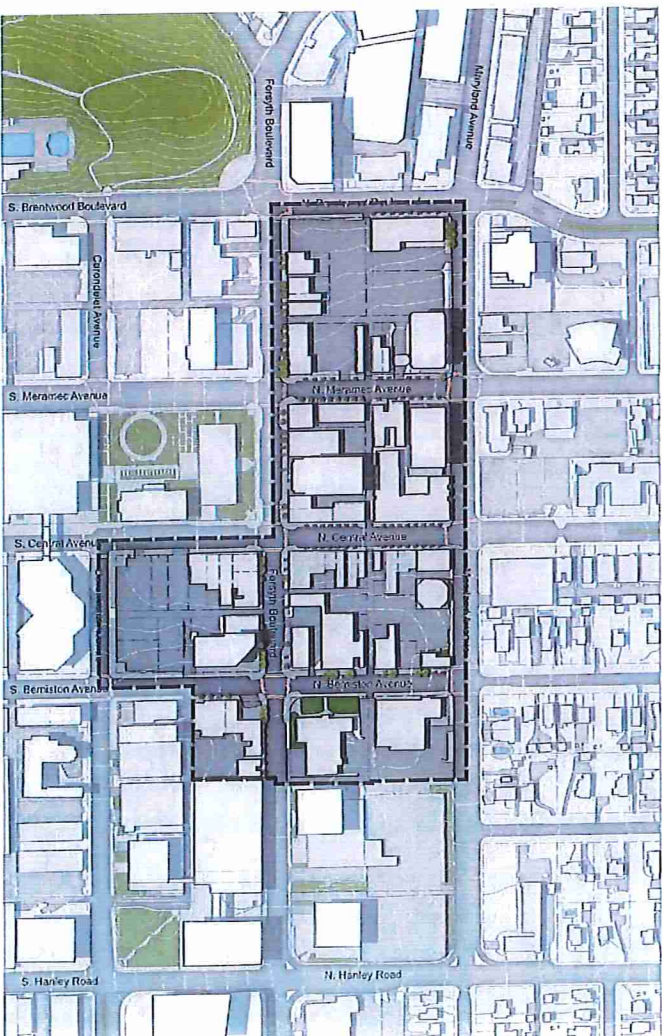
Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

MEETING OBJECTIVE

Review the engagement and decision-making process and the **Final Draft Development Standards & Design Guidelines Recommendations** for the Downtown and CBD Core Overlay Districts.

Note:

Per the recommendation of the project Steering Committee, the existing Downtown (DT) Core and Central Business District (CBD) Core Overlay District are consolidated into one district and expanded to the south and east. The modified Central Business District (CBD) Core Overlay District as shown.



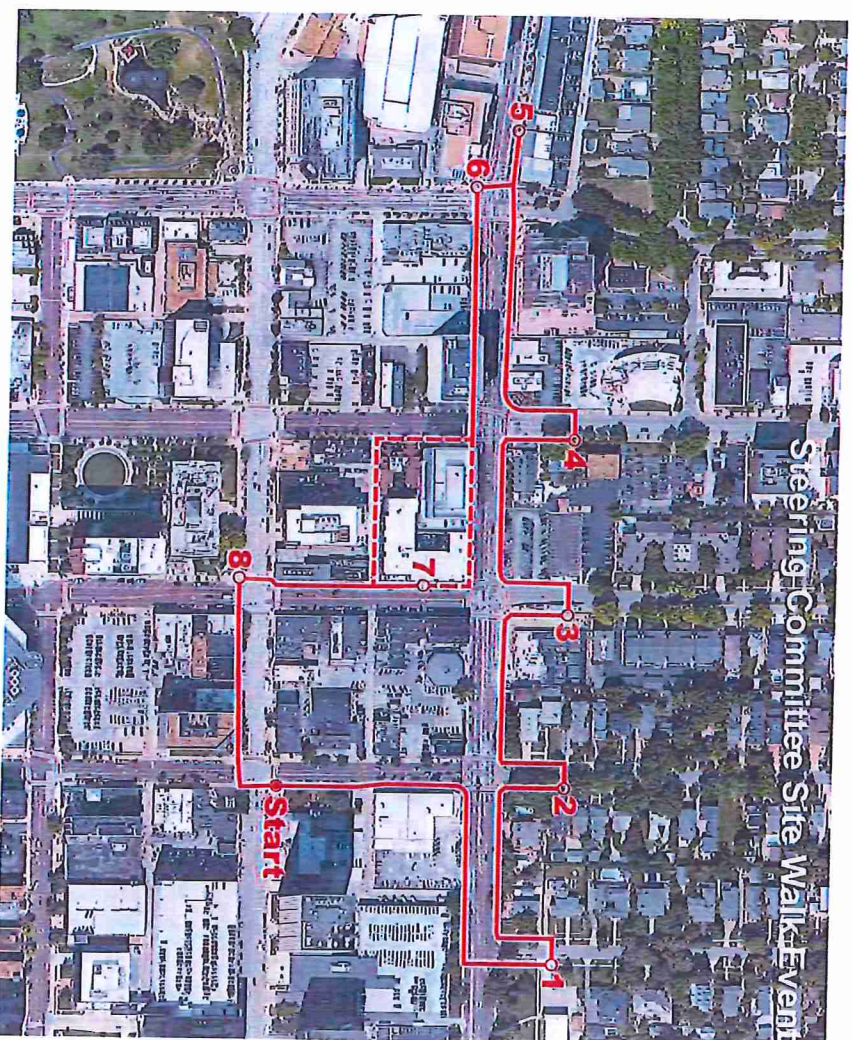
modified Central Business District (CBD) Core Overlay District

DESIGN & DEVELOPMENT GUIDELINES

Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

ENGAGEMENT ACTIVITIES TO DATE

- Mayor / Board of Aldermen Interviews
- Planning Commission / Architectural Review Board Interviews
- Stakeholder Interviews
- Visioning Work Sessions
 - Board of Aldermen – April 17, 2020
 - Planning Commission – May 1, 2020
- Steering Committee Work Sessions
 - May 27, 2020
 - June 11, 2020
 - July 7, 2020 (Site Walk)
 - September 16, 2020
- Joint BoA – PC/ARB Work Sessions (Open Public Sessions)
 - May 22, 2020
 - October 23, 2020
 - November 11, 2020



DESIGN & DEVELOPMENT GUIDELINES

Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

DECISION-MAKING SUMMARY

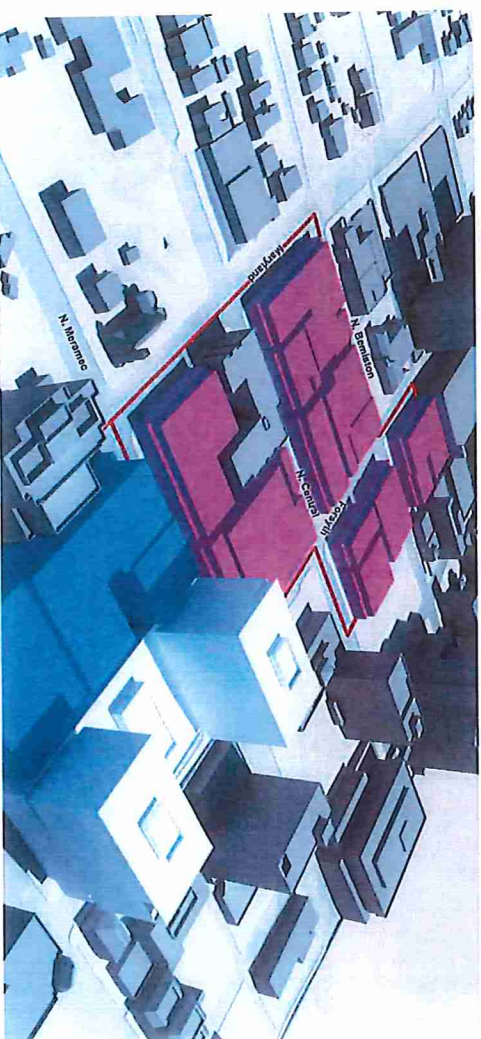
Visioning Work Sessions – *April 17 & May 1, 2020*

Meeting Topics:

Presentation of existing conditions analysis and analysis/modeling of existing overlay district regulations.

Key Decisions:

- Combine the two (2) existing overlay districts into a single district and expand the district East and South.
- N. Central Avenue should be redesigned to better function as Downtown's primary dining and entertainment street; remove two travel lanes and provide wider sidewalks.
- Development Standards must acknowledge the current market conditions and not—by default—push every development into a Planned-Unit Development (PUD).



DECISION-MAKING SUMMARY

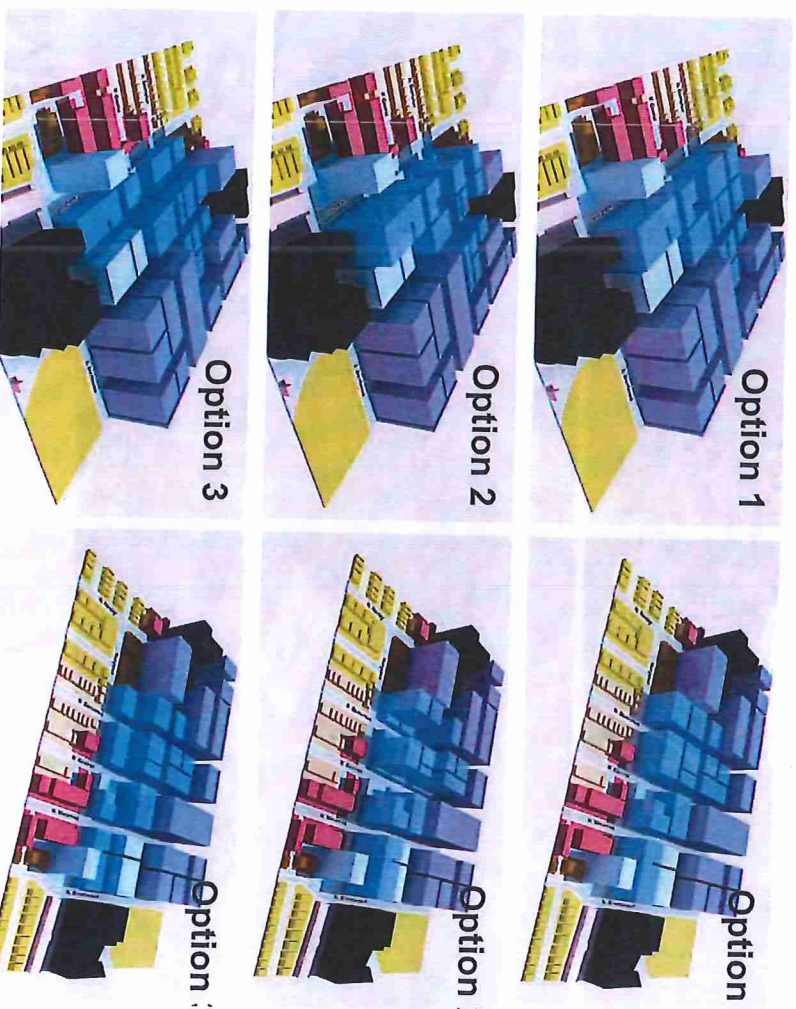
Joint BoA – PC/ARB Work Session #1 –
May 22, 2020
Steering Committee Meeting #1 –
May 27, 2020

Meeting Topics:

Presentation and discussion of the three (3) preliminary district height and setback options.

Key Decisions:

- No key decisions made.
- Feedback was collected to be incorporated into the revisions of the three (3) preliminary district height and setback options.



DECISION-MAKING SUMMARY

Steering Committee Meeting #2 – June 11, 2020

Meeting Topics:

Presentation and discussion of the three (3) UPDATED district height and setback options.

Key Decisions:

- 3-story minimum building height is appropriate.
- 6-story maximum building height before upper floor setback is appropriate.
- Maryland Avenue must have a contextual relationship to the neighborhoods to the north.
- A 10-story to 20-story “step up” from Maryland Avenue going south is appropriate.
- Stepbacks above 6-stories make sense so that streets don’t become canyons.



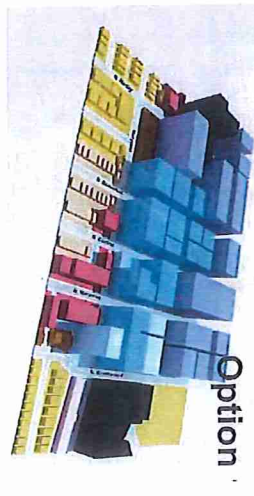
Option 1



Option 2



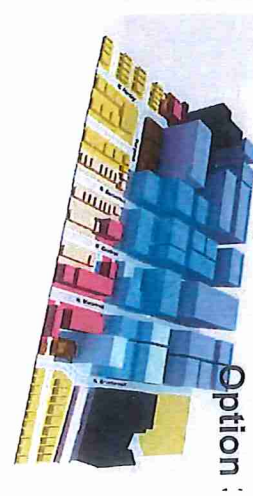
Option 3



Option 4



Option 5



Option 6

DESIGN & DEVELOPMENT GUIDELINES

Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

DECISION-MAKING SUMMARY

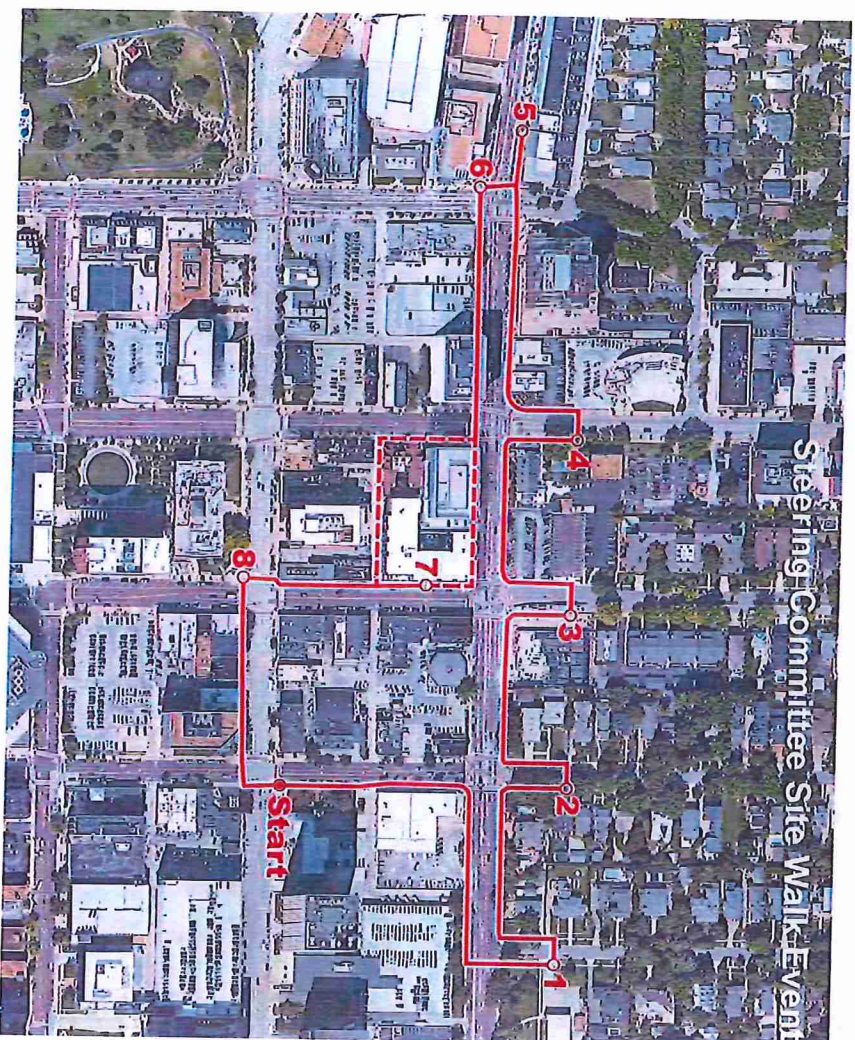
Steering Committee Meeting #3 – July 7, 2020

Meeting Topics:

Site walk to discuss the height and setback options presented at Steering Committee #2.

Key Decisions:

- 6-story maximum building height before upper floor setback is appropriate.
- Upper floor setbacks along Central Avenue and Berniston Avenue are desirable for the visual transition between residential neighborhoods and downtown.
- West of Meramec Avenue, higher maximum building heights are appropriate with no upper floor setback.
- Architectural Design Guidelines are very important to maintain the character of the streets.



DESIGN & DEVELOPMENT GUIDELINES

Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

DECISION-MAKING SUMMARY

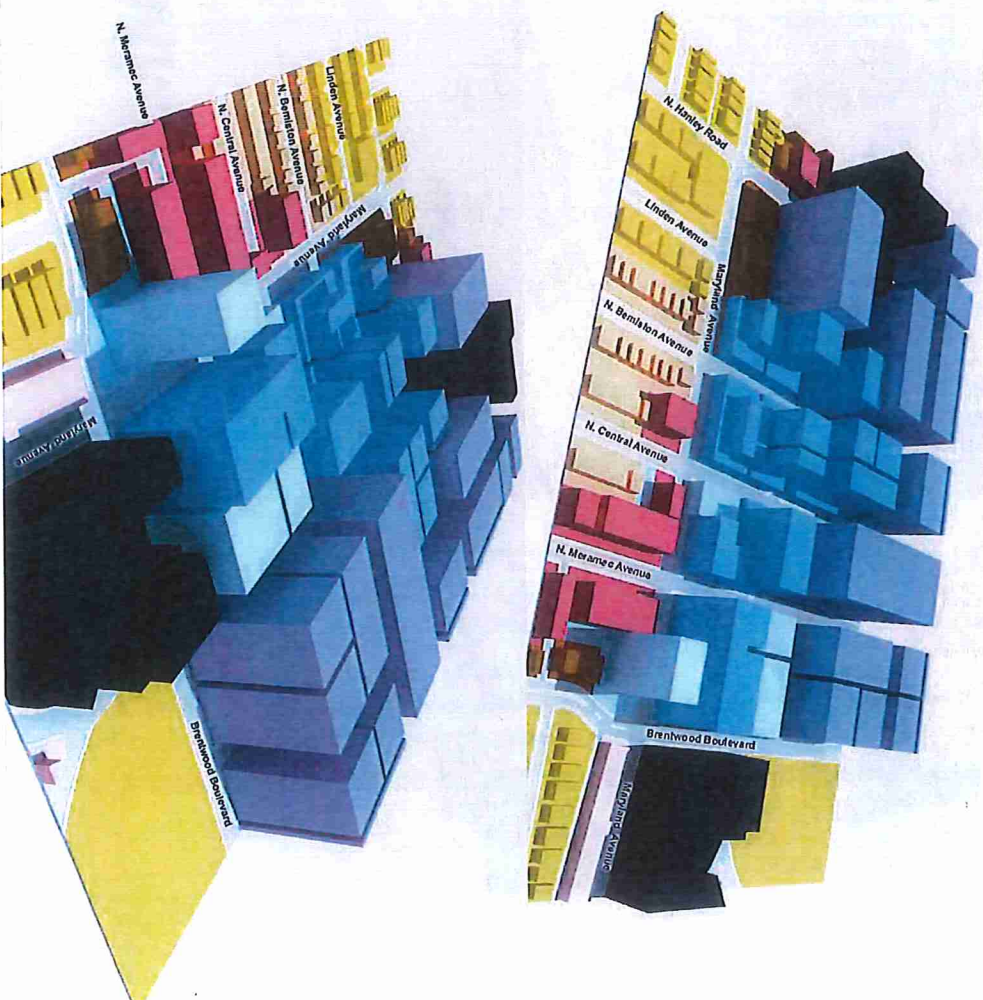
Steering Committee Meeting #4 – September 16, 2020

Meeting Topics:

Presentation of hybrid height and setback Preferred Option and first draft of Architectural Design Guidelines.

Key Decisions:

- Confirmation of 3-story minimum building height
- Confirmation of 6-story maximum building height before upper floor stepbacks on Central Avenue, Bemiston Avenue, Forsyth Boulevard, and Maryland Avenue.
- Confirmation that maximum building height along Maryland Avenue east of Meramec Avenue is 10-stories.
- Confirmation of transition between 10-story maximum building height and 25-story maximum building height.
- Identification of Architectural Design Guidelines components.



DECISION-MAKING SUMMARY

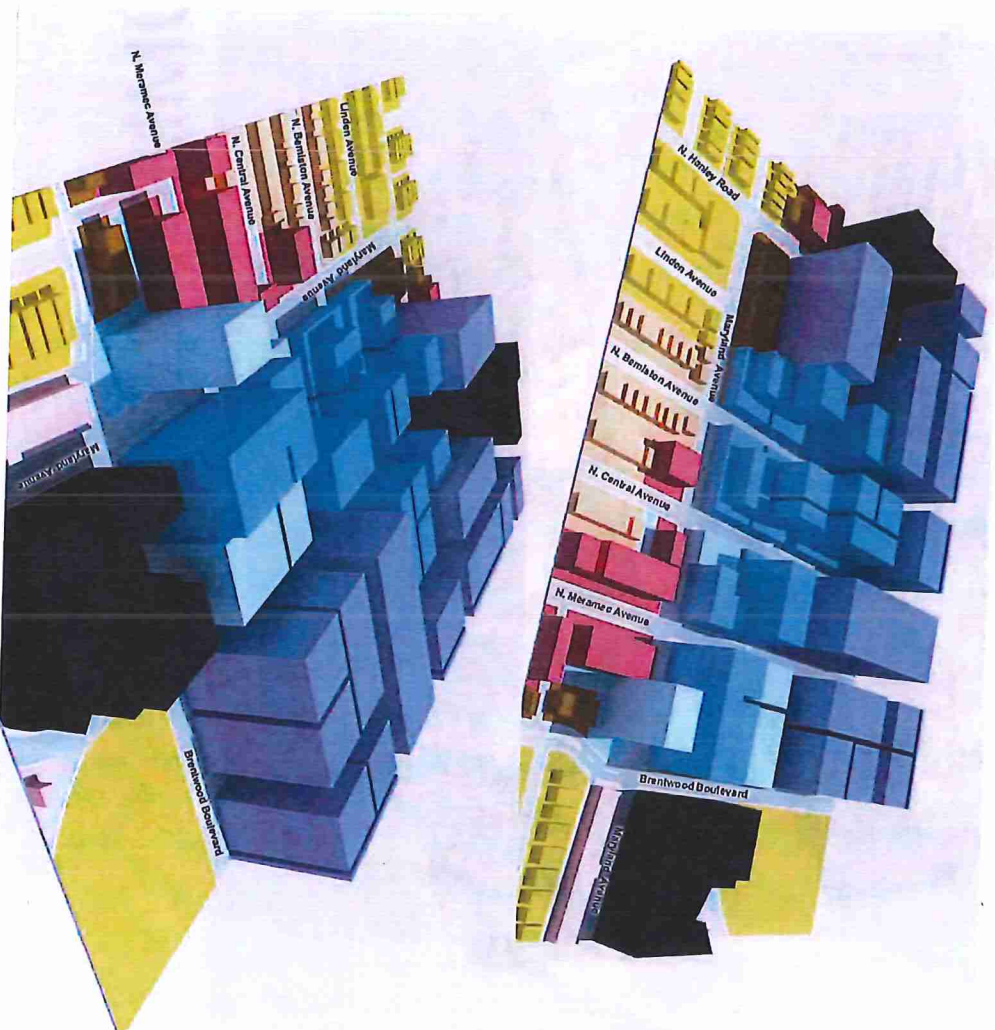
Joint BoA – PC/ARB Work Session #2 – October 23, 2020

Meeting Topics:

Presentation of Development Standards Draft recommendations.

Key Decisions:

- Confirmation of all Development Standards Draft recommendations.



DECISION-MAKING SUMMARY

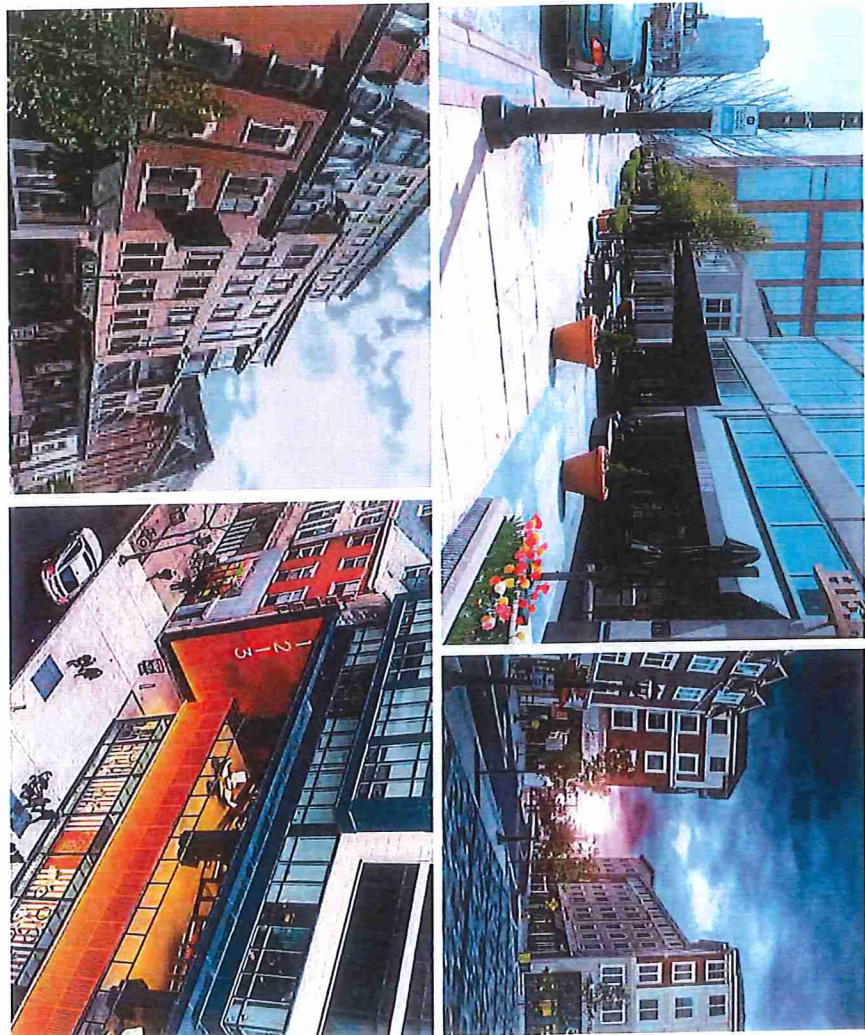
**Joint BoA – PC/ARB Work Session #3 –
November 11, 2020**

Meeting Topics:

Presentation of architectural Design Guidelines Draft recommendations.

Key Decisions:

- Discussion and documentation of proposed revisions to the architectural Design Guidelines.
- Confirmation of all architectural Design Guidelines Draft recommendations.



DESIGN & DEVELOPMENT GUIDELINES

Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

FINAL DRAFT DEVELOPMENT STANDARDS & DESIGN GUIDELINES

Modified Central Business District Core Overlay District

DESIGN & DEVELOPMENT GUIDELINES
Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

STATEMENT OF INTENT

I. DEVELOPMENT STANDARDS

What are they?

Standards governing the placement, configuration, height, and bulk of the **maximum and minimum building envelope**:

Typically, Development Standards are regulatory (like the zoning code).

II. DESIGN GUIDELINES

What are they?

Guidelines are focused on fostering “design excellence” and the identify and character of the district at the scale of the **buildings, landscape and open space**:

Design Guidelines can be either regulatory (like the zoning code) or advisory (criteria by which a project is reviewed, but not requirements).

Development Standards and Design Guidelines are integral components in the creation of a vibrant Entertainment District with Great Streets and compatibility with the adjacent residential neighborhood & downtown districts

PART I.

DEVELOPMENT STANDARDS

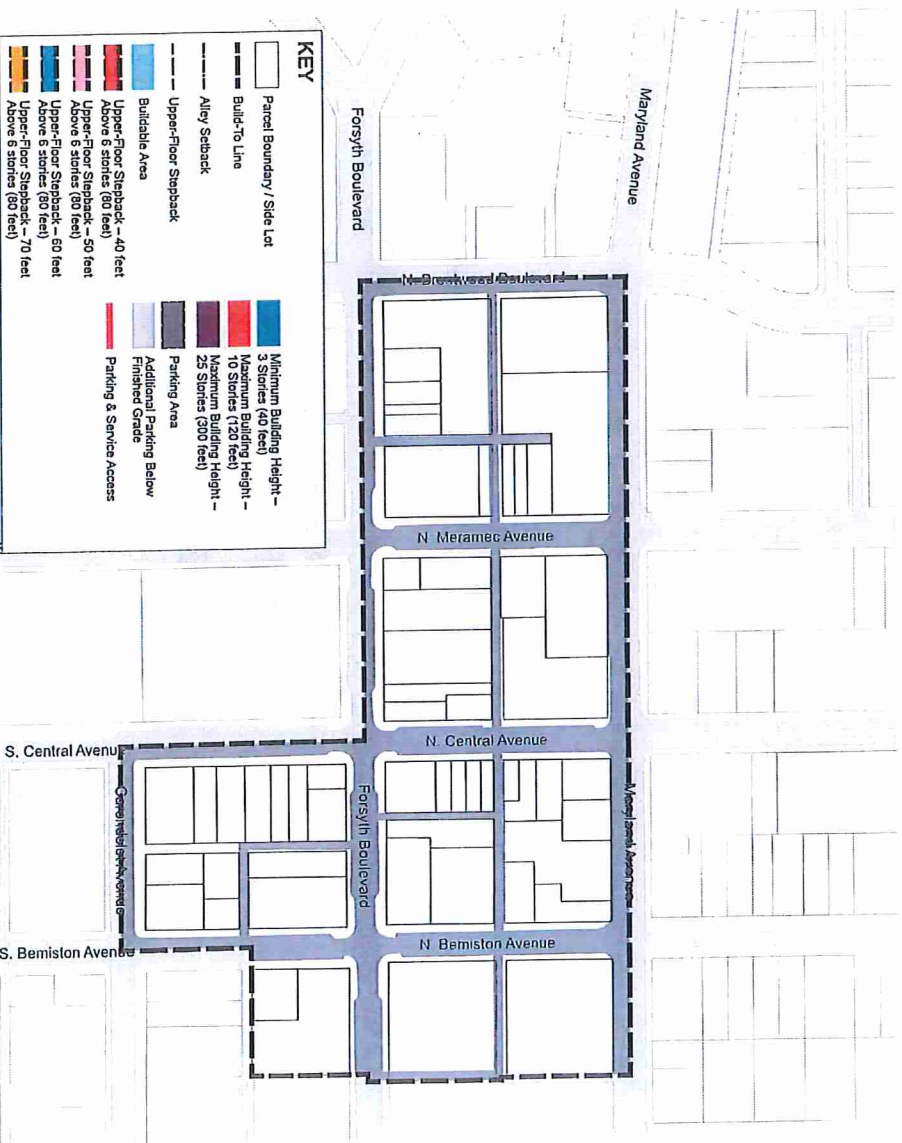
Draft Development Standards & Design Guidelines

DESIGN & DEVELOPMENT GUIDELINES
Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

DISTRICT BOUNDARY DESCRIPTION

Beginning at the intersection of the north property line of 8049 Forsyth Blvd. and the centerline of N. Brentwood Blvd.

- Centerline of **N. Brentwood Blvd.**, northerly to the centerline of Maryland Ave.
- Centerline of **Maryland Ave.**, easterly to the east property lines of 7750 Maryland Ave and 10 N. Bemiston Ave. East property line of 10 N. Bemiston Ave., southerly to the east property line of 7740 Forsyth Boulevard. East property line of 7740 Forsyth Boulevard, southerly to the south property lines of 7740 Forsyth Boulevard and 12 S. Bemiston Ave.
- South property line of **12 S. Bemiston Ave.**, westerly to the centerline of S. Bemiston Ave.
- Centerline of S. Bemiston Ave., southerly to the centerline of **Carondelet Ave.**
- Centerline of Carondelet Ave., westerly to the centerline of **S. Central Ave.**
- Centerline of S. Central Ave., northerly to the centerline of **Forsyth Blvd.**
- Centerline of Forsyth Blvd., westerly to the centerline of **N. Brentwood Blvd.**



DESIGN & DEVELOPMENT GUIDELINES
Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

OUTLINE

I. DEVELOPMENT STANDARDS

1. Building Placement

- a. *Build-to Line*
- b. *Setback*
- c. *Building Form (Building "Footprint")*

2. Building Height

- a. *Minimum Building Height*
- b. *Maximum Building Height*
- c. *Finished Ground Floor Level*
- d. *Ground Floor Ceiling Height*
- e. *Upper Floor Ceiling Height*
- f. *Upper Floor Setback*

3. Encroachments

4. Building Use Requirements

- a. *Ground Floor Uses*
- b. *Upper Floor Uses*

5. Parking & Building Service

- a. *Location*
- b. *Access Requirements*
- c. *Required Spaces*

6. Building Types

7. Frontage Types

1.1. BUILDING PLACEMENT

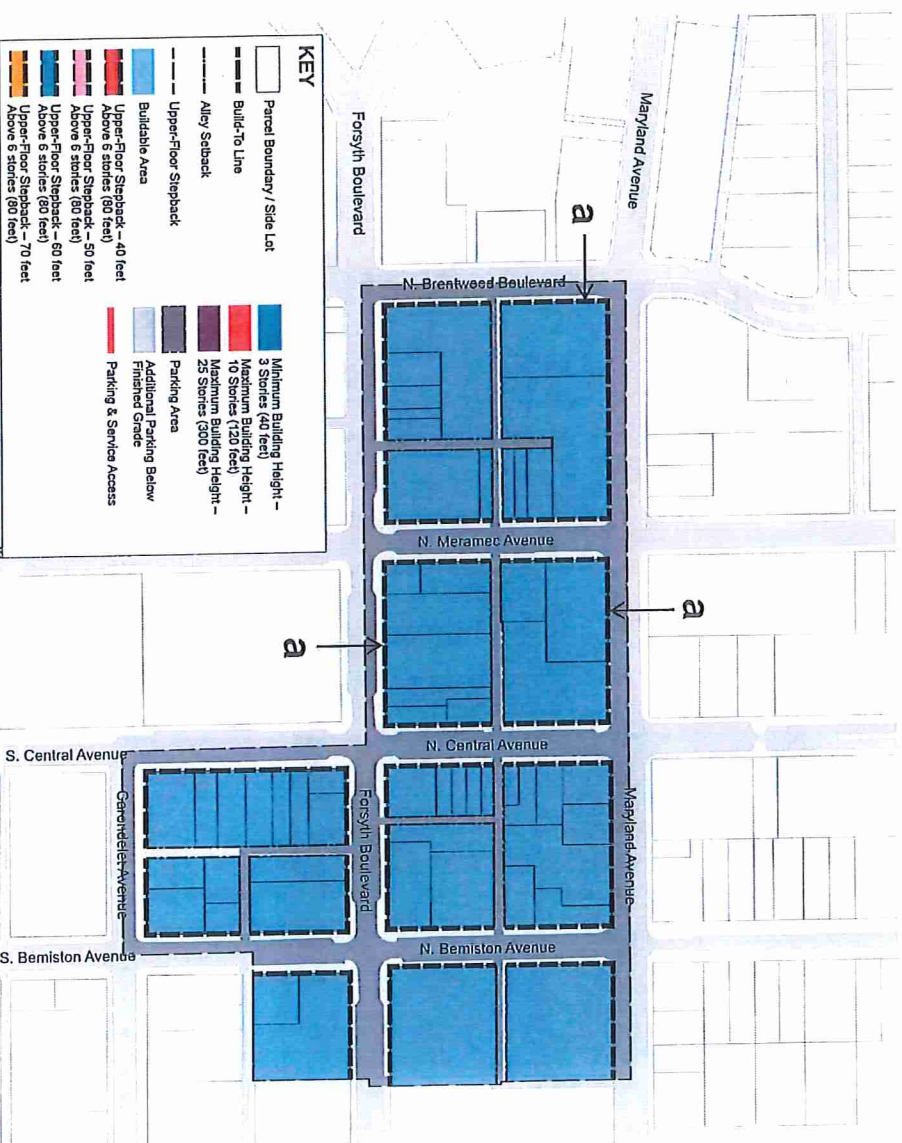
1.1.1. Build-to Line

Build-to line refers to the specific line at which the building façade will be placed, as measured from the parcel boundary.

[a] Primary Street: 0 feet
(from ground level to floor 6)

NOTES:

- Ground floor façades may be set back from the build-to line for building entrances, open-air seating/dining areas, and other programmatic uses:
 - Up to a maximum of 12 feet;
 - Up to a maximum of 25% of total façade length.
- Upper floor façades may be set back from the build-to line for façade articulation:
 - Up to a maximum of 12 feet;
 - Up to a maximum of 50% of total façade length.



3

I.1.2. Setback

Setback refers to the distance at which the building façade will be placed from the parcel boundary, as measured from the parcel boundary.

[b] Side: 0 feet min | 5 feet max

[c] Alley: 0 feet min | 15 feet max

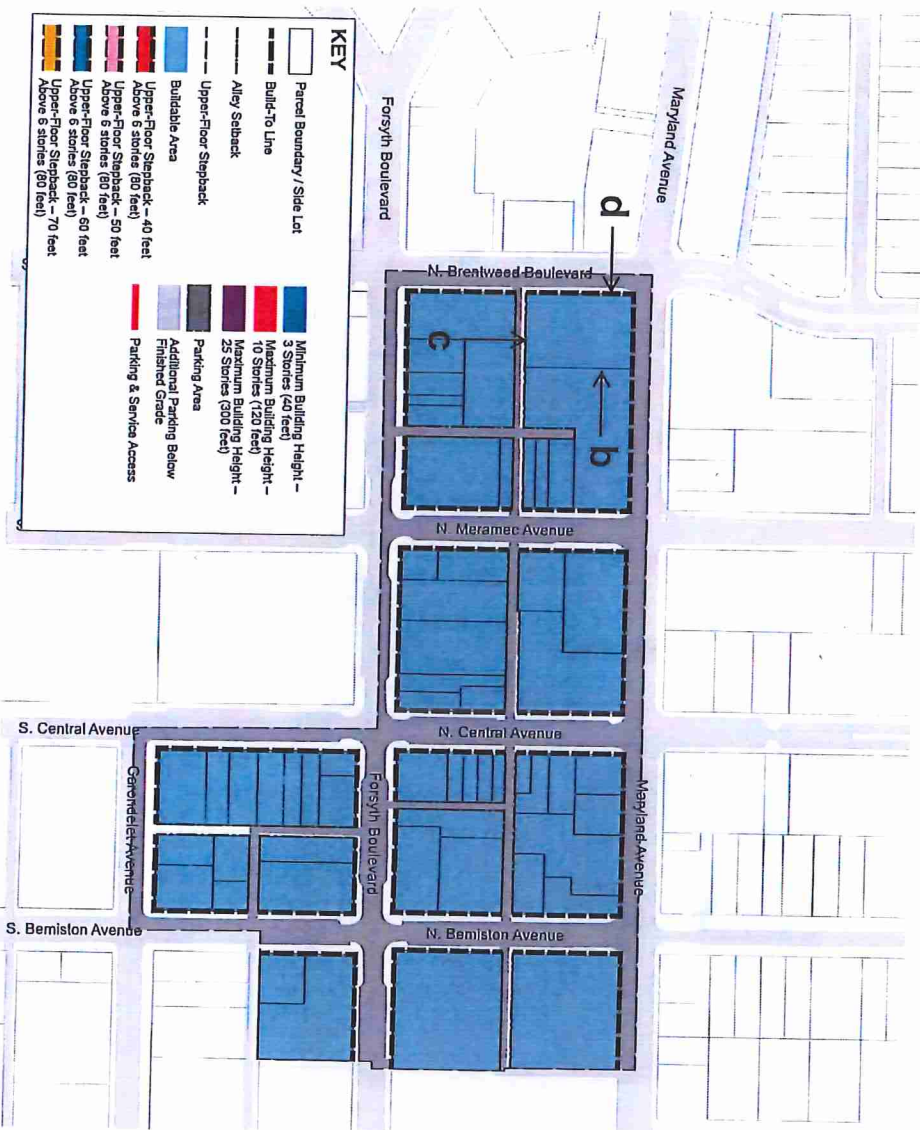
1.1.3. Building Form

Building form refers to the percentage of the build-to line required to be built

[d] Primary Street: 85% min | 100% max

NOTES:

1. For corner parcels with two (2) or more primary street frontages, the building must be located at the corner.
2. Up to 25% of the Build-to Line may be set back up to 10 feet



1.2.1. Minimum Building Height

[e] 3 Stories (40 feet)



1.2. BUILDING HEIGHT

1.2.1. Minimum Building Height

Building height refers to the height of the building, measured in stories or feet, from the mean adjacent grade to the eave or base of the parapet.

[e] 3 Stories (40 feet)

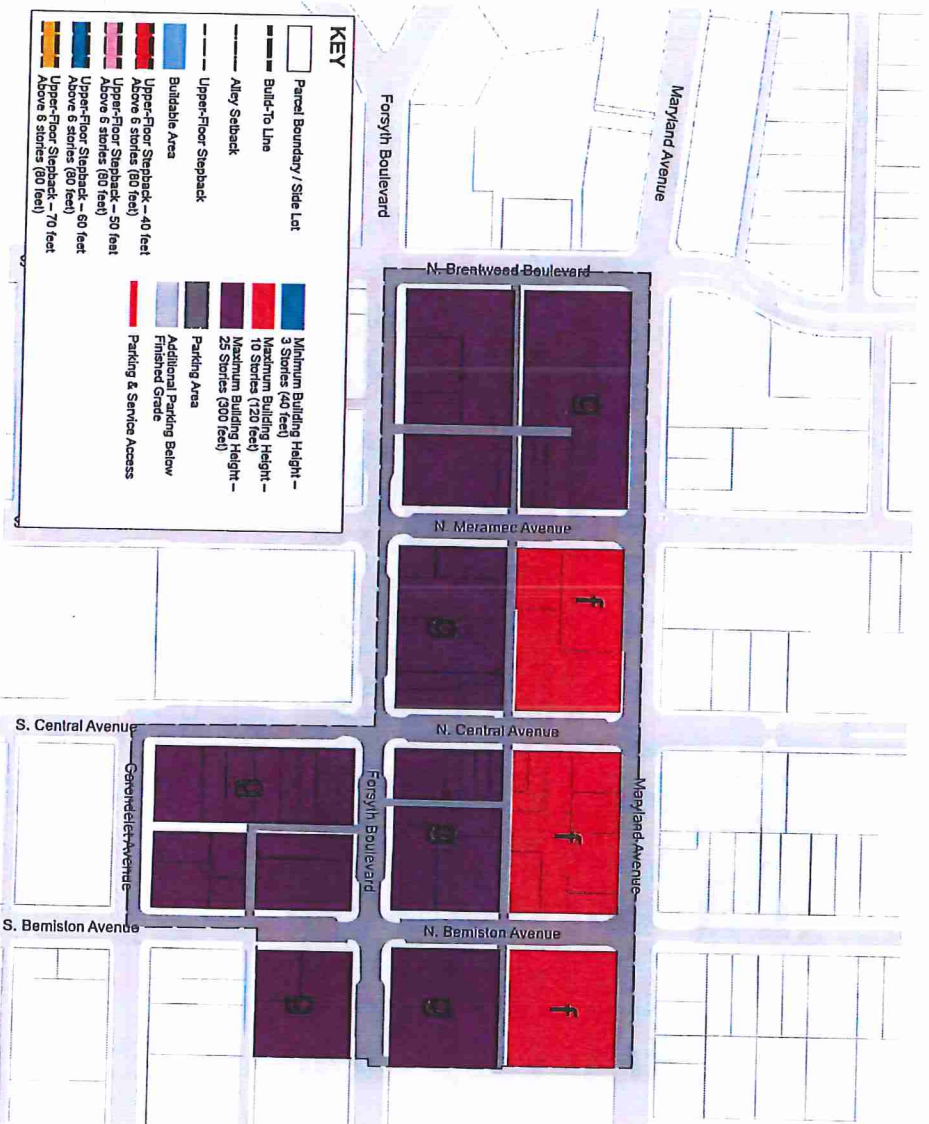
1.2.2. Maximum Building Height

[f] 10 Stories (140 feet)¹

[g] 25 Stories (300 feet)²

NOTES:

1. For parcels located east of N. Meramec Ave., west of the westernmost District boundary, and north of the service alley between Maryland Avenue and Forsyth Boulevard (shown in red).
2. For all other parcels (shown in violet).

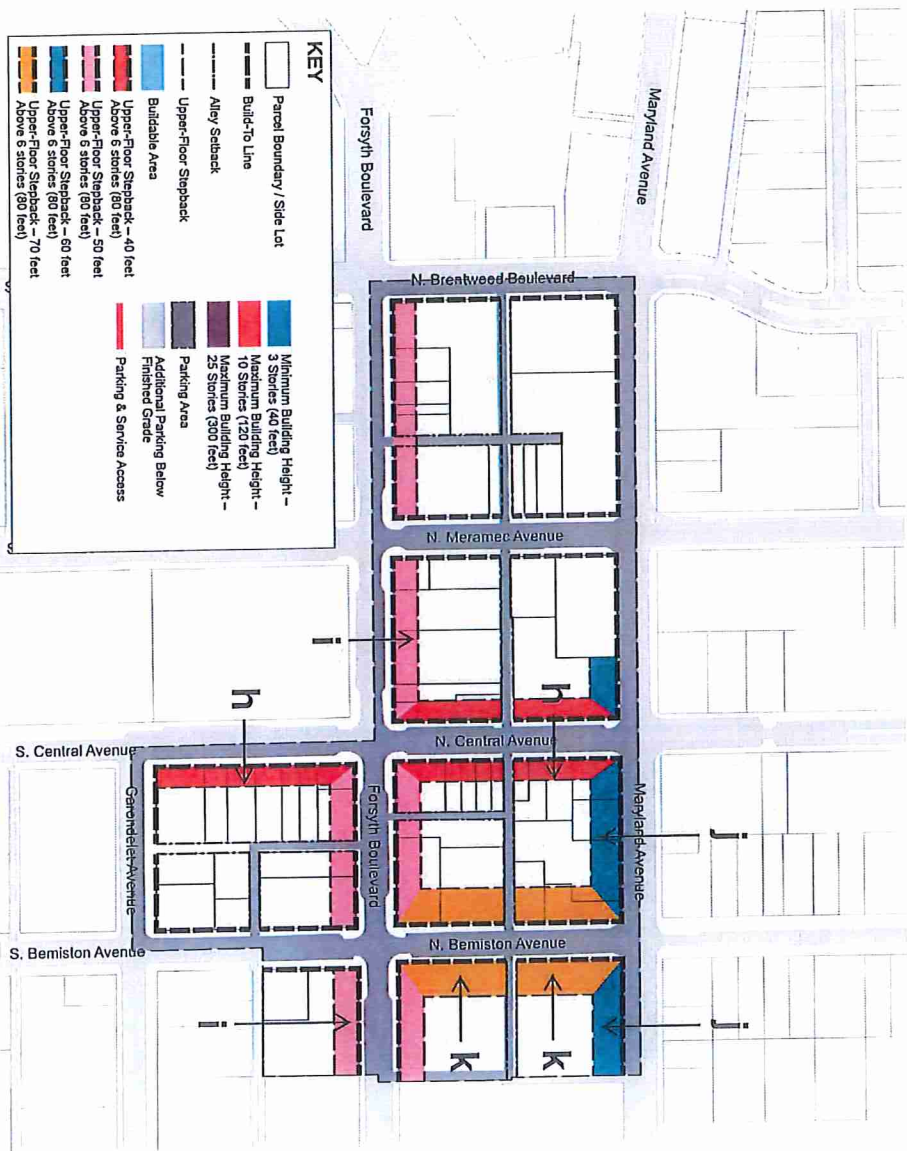


I.2. BUILDING HEIGHT

I.2.3. Upper Floor Step Back

Upper Floor Step Back refers to the setback of upper stories, required above a specified building height.

- [h] 40 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of N. Central Ave. and S. Central Ave. (shown in red)
- [i] 50 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of Forsyth Blvd. (shown in pink)
- [j] 60 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of Maryland Ave., east of N. Central Ave. (shown in blue)
- [k] 70 feet for all floors beginning above floor 6 (or 80 feet) for all frontages of N. Bemiston Ave. (shown in yellow)



1.2. BUILDING HEIGHT

1.2.4. Finished Ground Floor Level

Finished Ground Floor Level refers to the elevation of the finished, occupiable ground floor above adjacent grade.

[l] 0 feet above adjacent grade

1.2.5. Ground Floor Ceiling Height

Ground Floor Ceiling Height refers to the distance between the finish floor and the ceiling of the ground floor.

[m] 12 feet min

[n] 16 feet max

1.2.6. Upper Floor Ceiling Height

Upper Floor Ceiling Height refers to the distance between the finish floor and the ceiling of the upper floor(s).

[o] 9 feet min

[p] 12 feet max



DESIGN & DEVELOPMENT GUIDELINES

Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

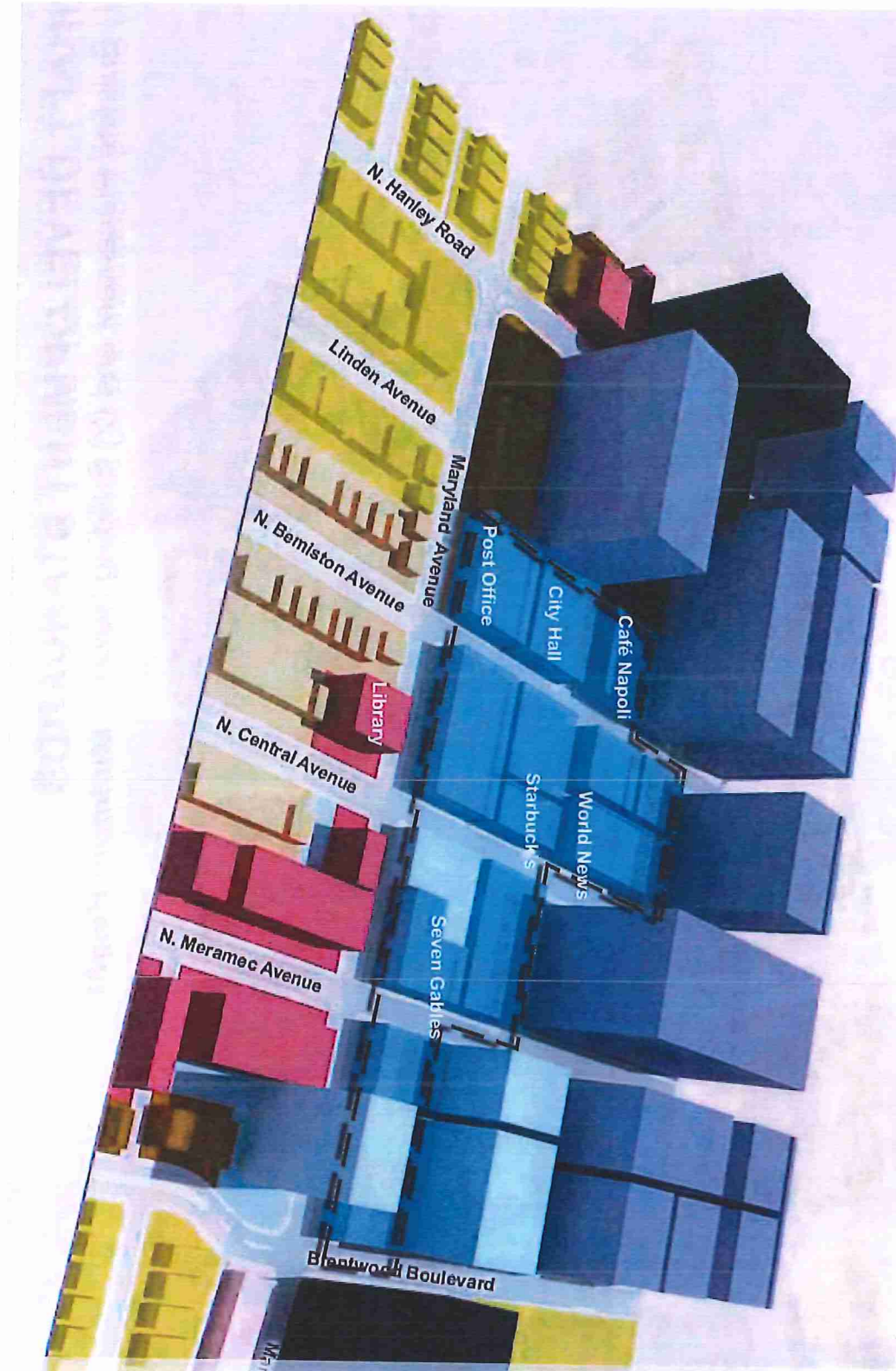
DRAFT DEVELOPMENT STANDARDS

1) Building Placement and (2) Building Height – *Minimum Height*



DRAFT DEVELOPMENT STANDARDS

1) Building Placement and (2) Building Height – Six (6) Story Height (Maximum No-Setback Height)



- 1.1.1.a Build-To Line: 0 Foot Build-To Line
- 1.1.2.b. Side Yard Setback: NONE
- 1.1.2.c. Rear Yard Setback: NONE
- 1.1.3.d. Building Form (Footprint): At least 85% of Build-To Line Up to 25% of Build-To Line may be set back up to 10 feet
- 1.2.1 Building Height: 1.2.1.e. Min: 3 Stories (40 Feet) 1.2.2.f. Max: 10 Stories (240 Feet) (blocks between Forsyth and Maryland, from Meramec to alley east of Bemiston) 1.2.2.g. Max: 25 Stories (300 Feet) (all other blocks)
- 1.2.3. Upper Floor Setback: Varies above 6 Stories (80 Feet) Maryland as indicated on facades facing the following streets:
 - 1.2.3.h. N. & S. Central Ave (40 feet)
 - 1.2.3.i. Forsyth Blvd (50 feet)
 - 1.2.3.j. Maryland Ave, N. Meramec Ave east to Alley east of N. Bemiston (60 feet)
 - 1.2.3.k. N. Bemiston Ave (70 feet)

DRAFT DEVELOPMENT STANDARDS

1) Building Placement and (2) Building Height – *Maximum Height*



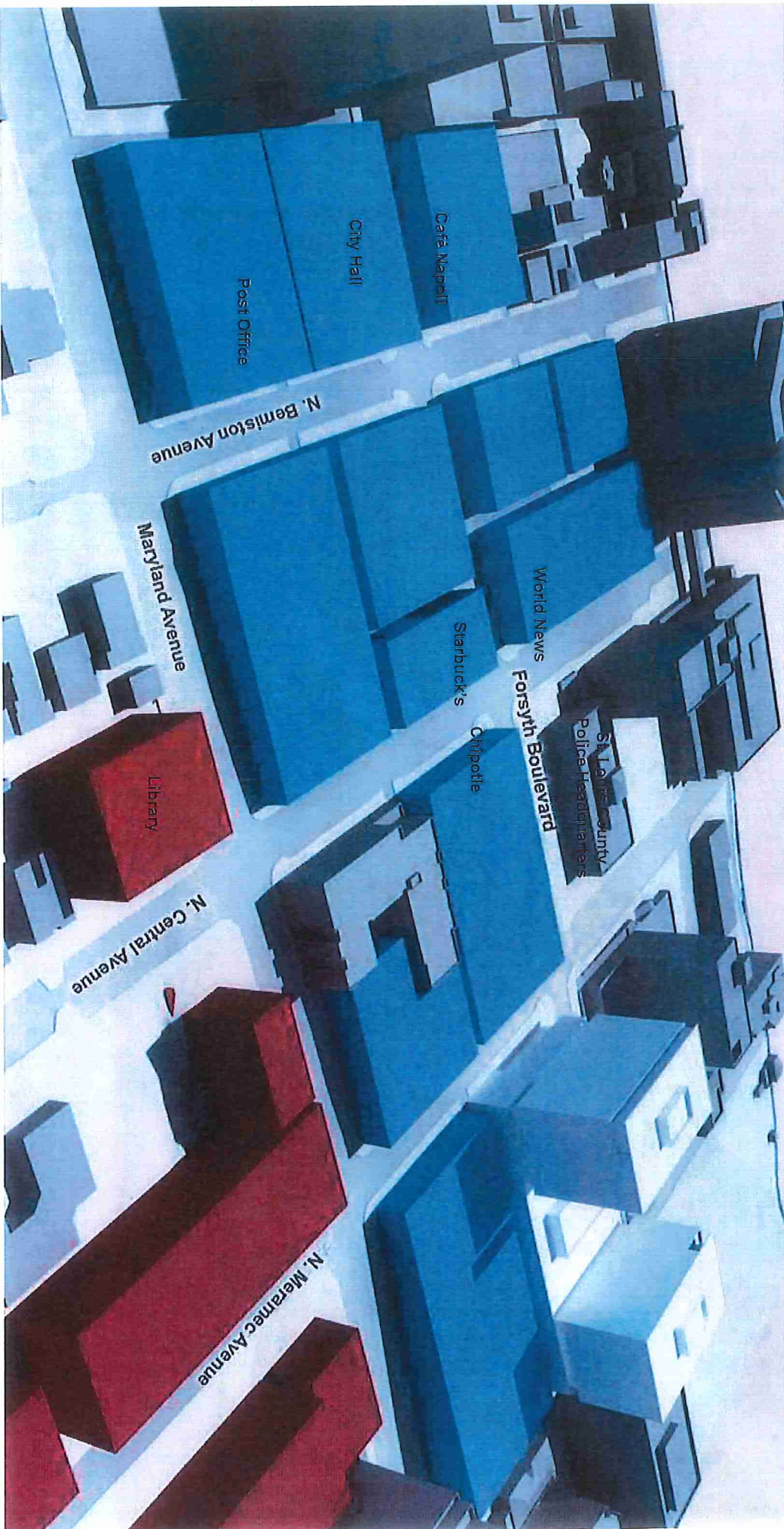
DRAFT DEVELOPMENT STANDARDS

Existing Context – Existing Conditions



DRAFT DEVELOPMENT STANDARDS

Existing Context – Minimum Height



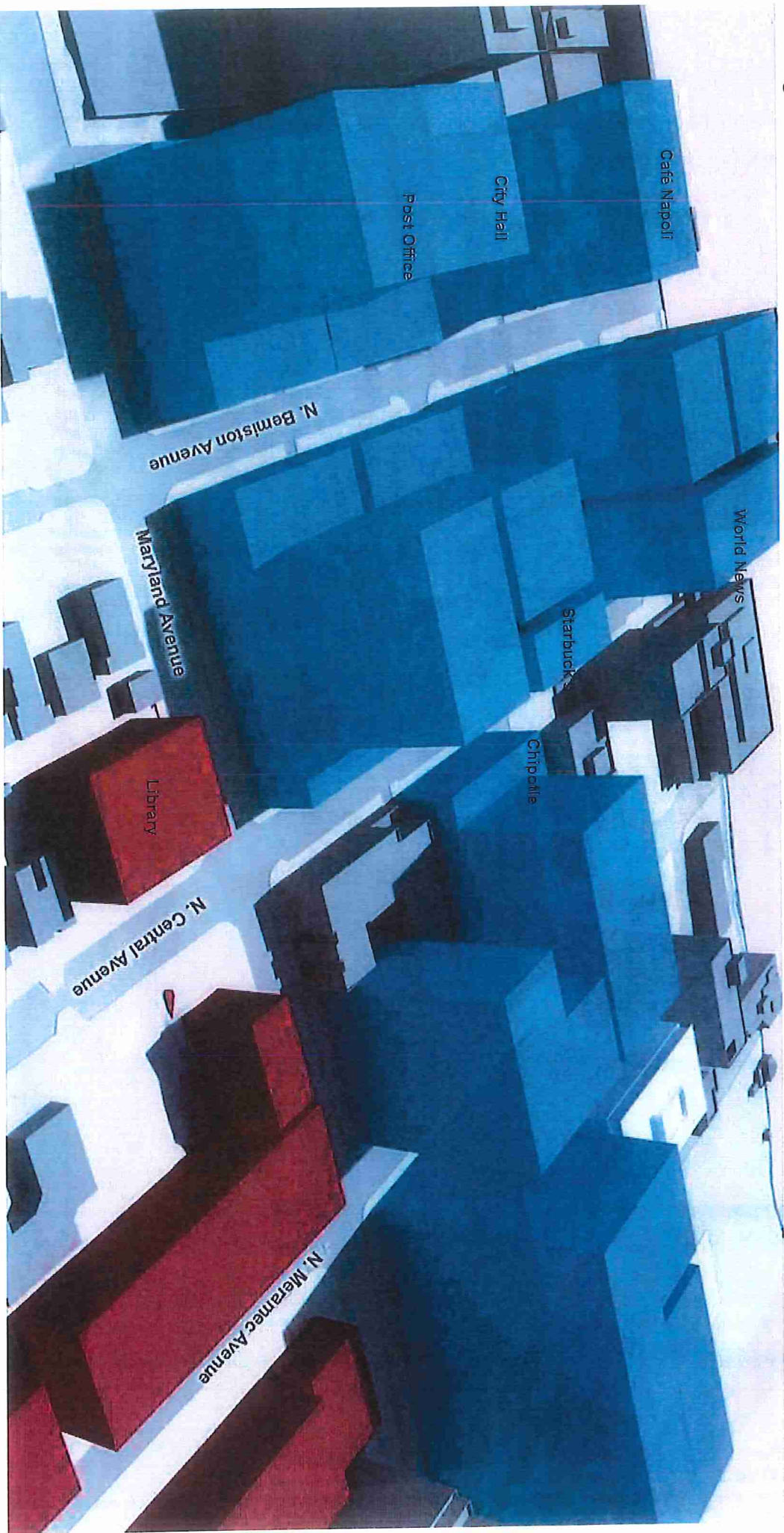
DRAFT DEVELOPMENT STANDARDS

Existing Context – 6-Story (Maximum No-Setback) Height



DRAFT DEVELOPMENT STANDARDS

Existing Context – Maximum Height



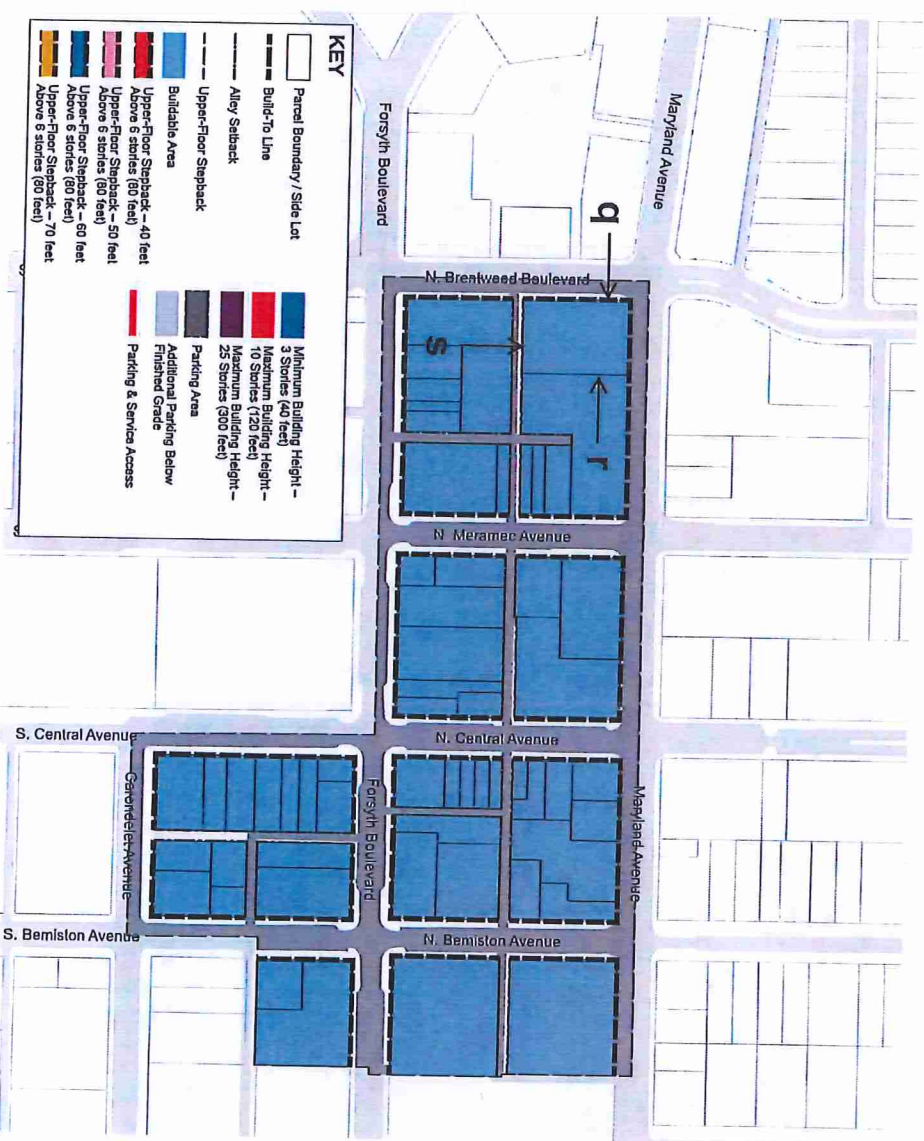
I.3. ENCROACHMENTS

I.3.1. Encroachments

Encroachments refer to any building, part of a building, or other obstruction that physically intrudes upon, overlaps, or trespasses across the Build-to Line, adjacent property, or adjacent public right-of-way.

Encroachments typically apply to building signage, awnings, balconies, bay / oriel windows, and outdoor seating / dining areas.

- [q] Primary Street: 6 feet max
- [r] Side: Not Permitted
- [s] Alley: Not Permitted



DESIGN & DEVELOPMENT GUIDELINES
Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

1.4. BUILDING USE REQUIREMENTS

1.4.1. Ground Floor Use

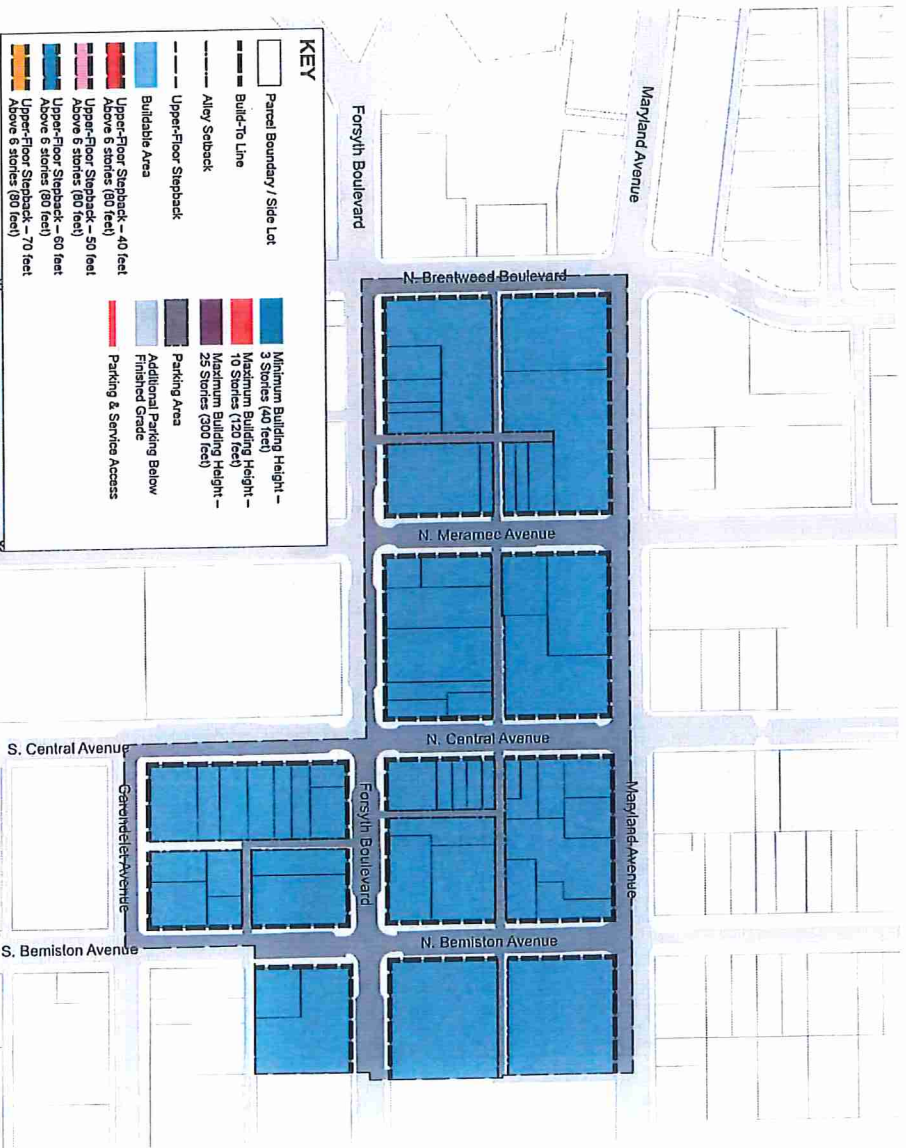
Entertainment / Dining
Primary Retail¹

1.4.2. Upper Floor Use

Secondary Retail / Service
Office
Residential

NOTES:

1. Primary Retail is permitted as a conditional use only for all building frontages on North Central Ave.



DESIGN & DEVELOPMENT GUIDELINES

Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

1.5. PARKING & BUILDING SERVICE

1.5.1. Location

Parking will generally be located at the interior of the block. Surface and above-grade parking is required to be setback from the Built-to Line. Below Grade Parking may be located at the Build-to Line.

Setback, Above Grade:
(dark gray)

[t] 60 feet min from Build-to Line (Primary Street)

[u] 0 feet min from Side

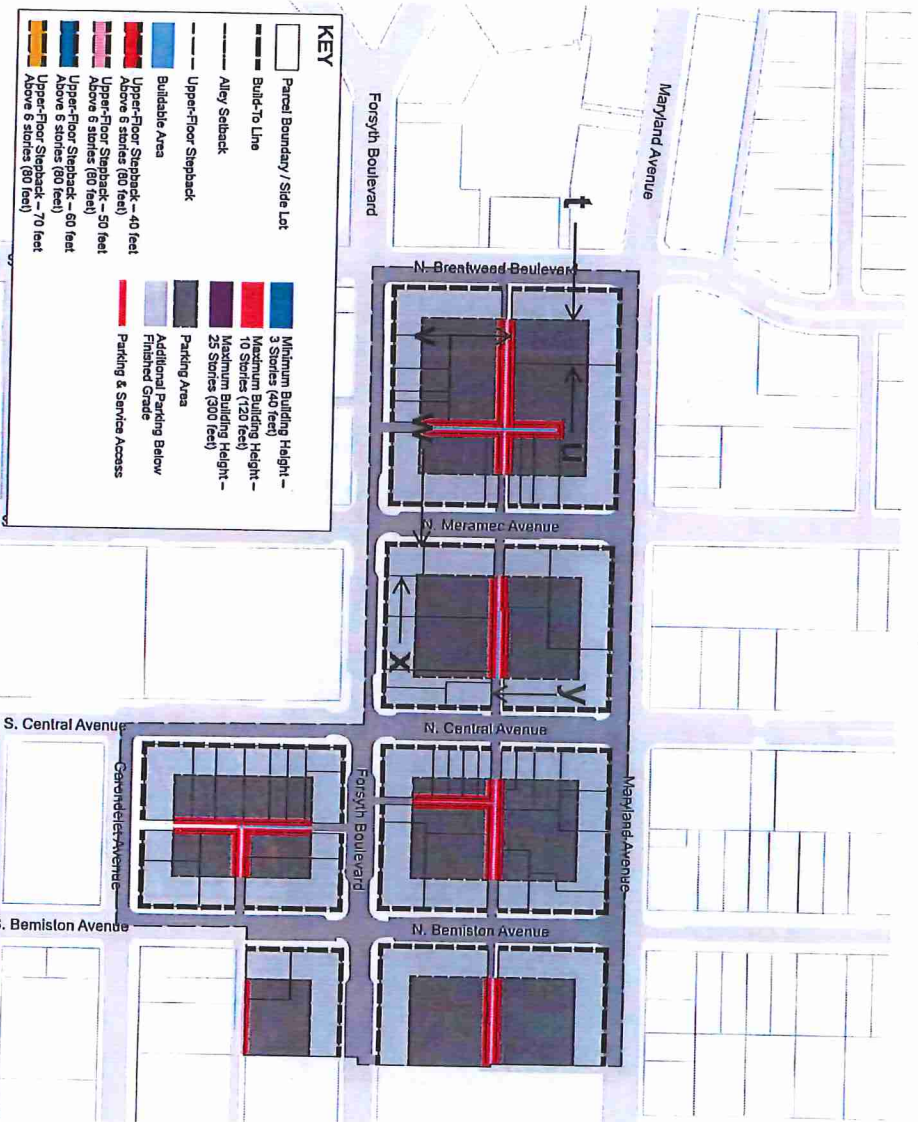
[v] 0 feet min from Alley

Setback, Below Grade:
(light gray)

[w] 0 feet min from Build-to Line (Primary Street)

[x] 0 feet min from Side

[y] 0 feet min from Alley



1.5. PARKING & BUILDING SERVICE

1.5.2. Access

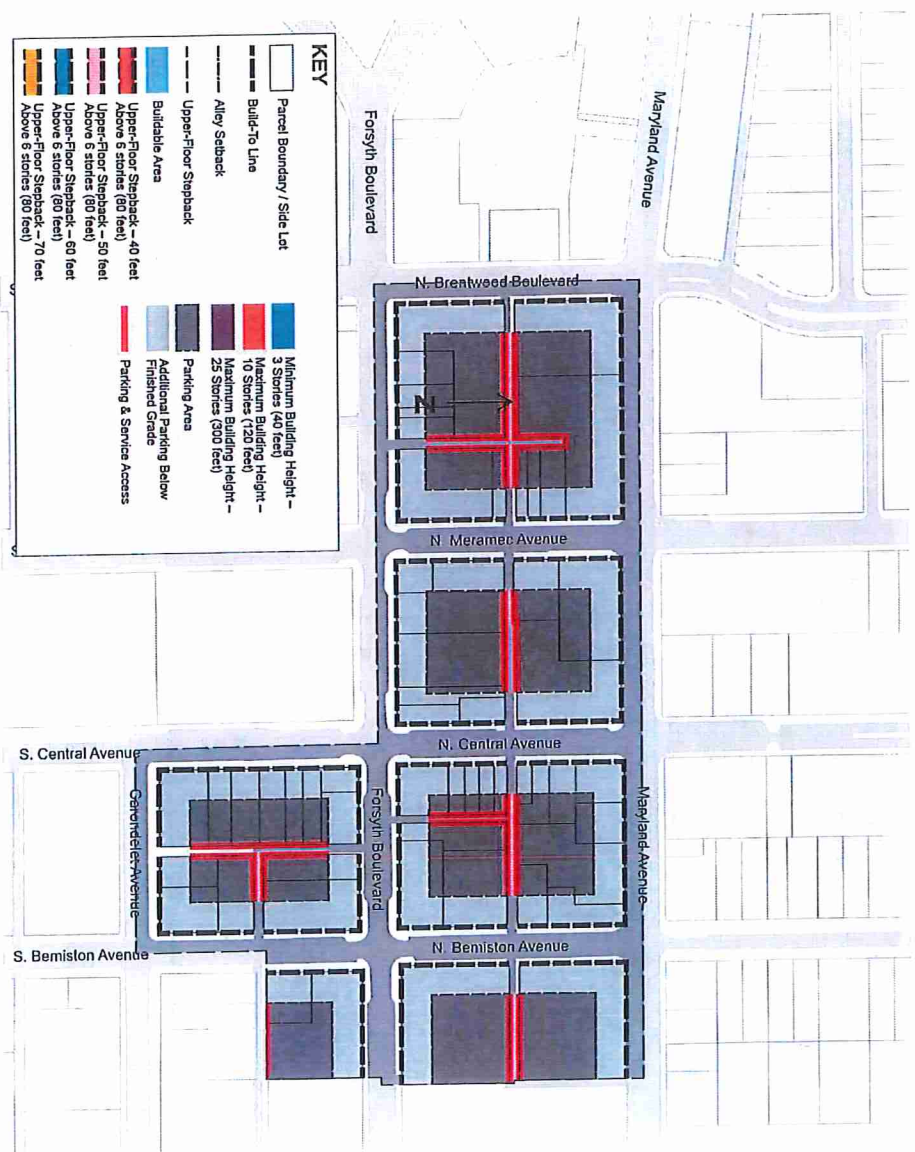
[2] Parking and building service will generally be accessed from existing service alleys:

1. If the parcel(s) to be developed have access to or about an existing service alley, parking and building service access is required to occur from said service alley.
2. If the parcel(s) to be developed do not have access to or about an existing service alley, parking and building service access may occur from adjacent street(s), subject to the following requirements:

- No access may be provided on N. Meramec Ave., N. Central Ave., S. Central Ave., or N. Bemiston Avenue;
- No access may be provided within 60 feet of a street corner.

1.4.3. Required Spaces

13 (To Be Determined)



DESIGN & DEVELOPMENT GUIDELINES
Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

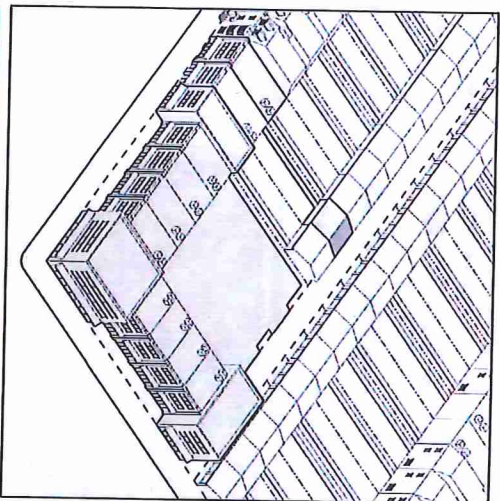
I.6. BUILDING TYPES

Purpose & Intent

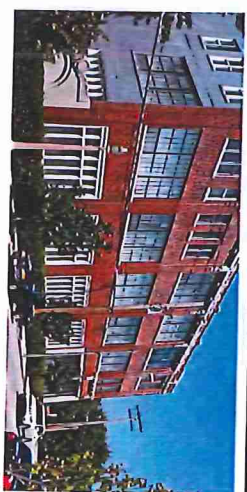
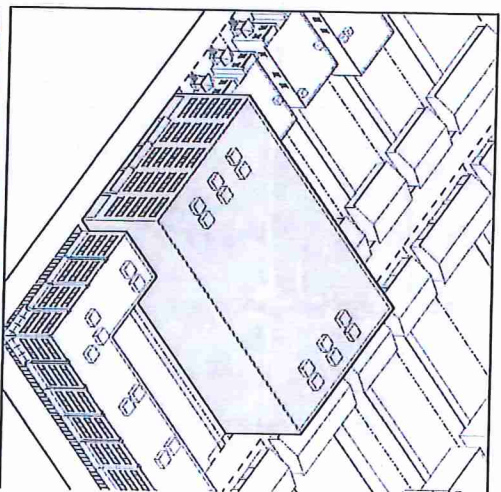
The purpose of the Building Types is to ensure that the buildings within the Overlay District are consistent with the character goals of the Development Standards. The Building Types are a series of model buildings for development, which are both regional in application and particular to Downtown Clayton and the Overlay District.

All Building Types presented herein are permitted throughout the Overlay District.

I.6.1. LIVE-WORK BUILDING

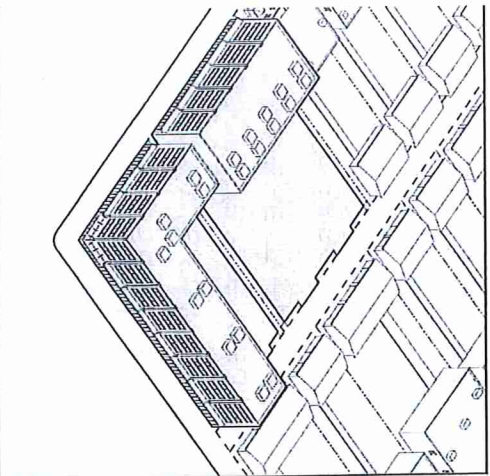


I.6.2. FLEX BUILDING

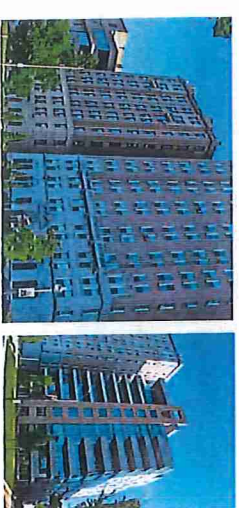
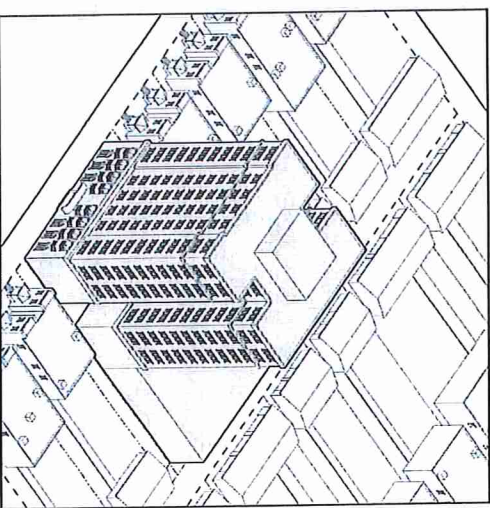


1.6. BUILDING TYPES (continued)

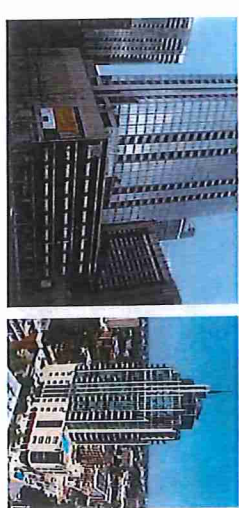
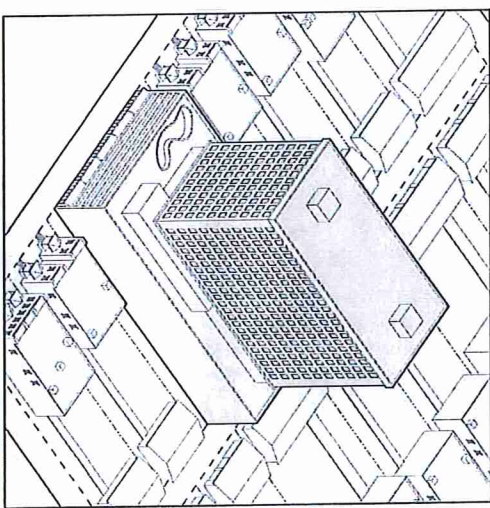
1.6.3. COMMERCIAL
BLOCK BUILDING



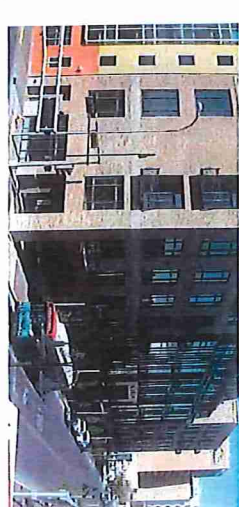
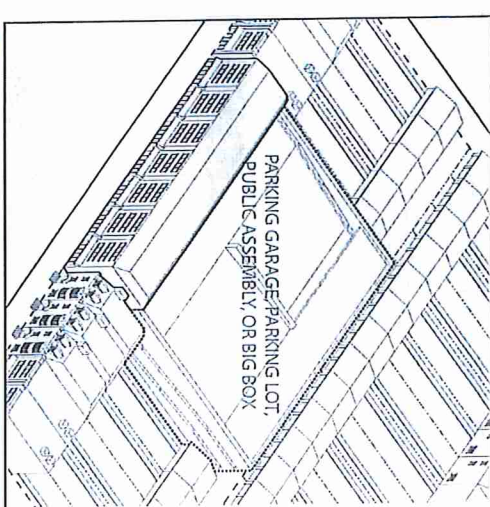
1.6.4. HIGH RISE
BUILDING



1.6.5. LIVE-WORK
BUILDING



1.6.6. LINER
BUILDING



1.7. FRONTAGE TYPES

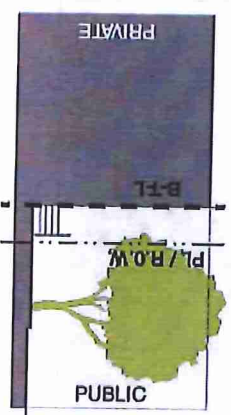
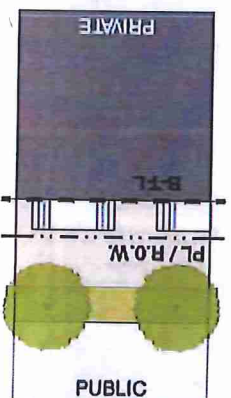
Purpose & Intent

The Purpose of the Frontage Types is to provide a series of options for how the chosen Building Type will address the street, in order to provide variety in building features and encourage vibrant and active street life. Frontage types vary in their suitability for different uses. For example, the Shopfront Frontage Types is suitable for primary retail uses; while the balcony is suitable for residential uses; while the Frontage Types will define the characteristics of the public space of the Overlay District. Each Building Type **must feature at least one (1) Frontage Type on the Ground Floor and at least one (1) Frontage Type on the Upper Floor(s)**, but may feature multiple Frontage Types.

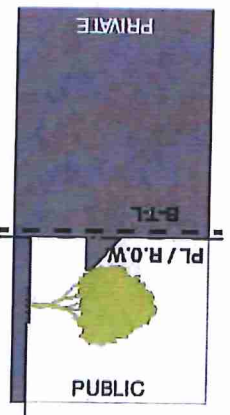
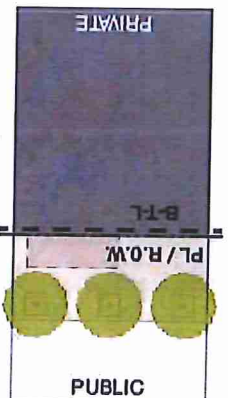
All Frontage Types presented herein are permitted throughout the Overlay District.

13

1.7.1. STOOP

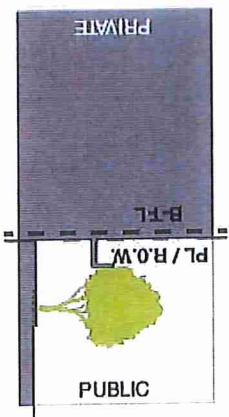
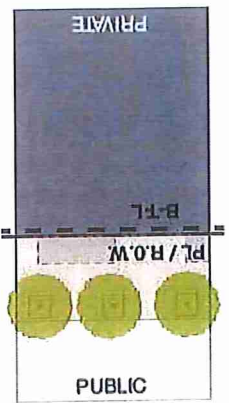


1.7.2. AWNINGS & CANOPIES

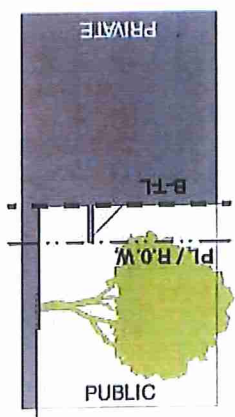
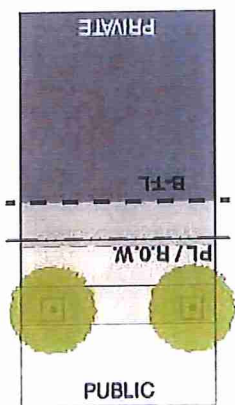


1.7. FRONTAGE TYPES (continued)

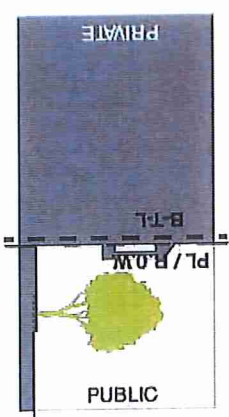
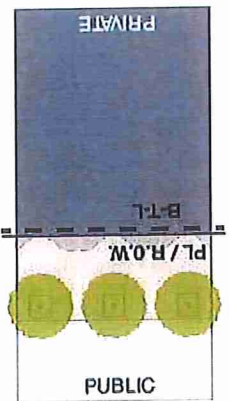
1.7.3. BALCONIES



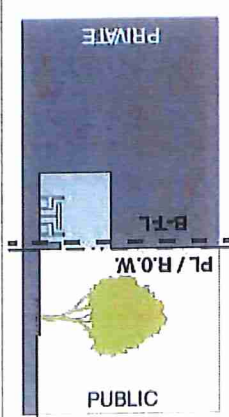
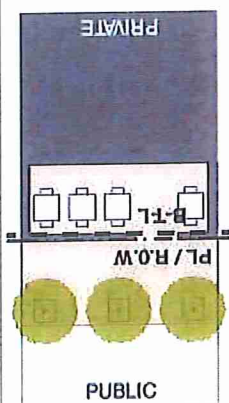
1.7.5. SHOPFRONT



1.7.4. BAY & ORIEL WINDOWS



1.7.6. CAFÉ



PART II.

FINAL DRAFT DESIGN GUIDELINES

Draft Development Standards & Design Guidelines

DESIGN & DEVELOPMENT GUIDELINES
 Downtown Core and CBD Core Overlay Districts | City of Clayton, Missouri

FINAL DRAFT DESIGN GUIDELINES

II. DESIGN GUIDELINES

1. Design Excellence Principles
2. District Guidelines
3. Architectural Guidelines
4. Building Elements & Materials
5. Landscape Guidelines
6. Public Art & Place-Making

II.A Objective & Definitions

The primary objective of these Design Guidelines and the review process through which they are administered is to achieve **design excellence** and a vibrant, attractive and human-scaled Downtown Entertainment District.

As downtown's Entertainment District the standard for design is high in order to achieve the following: "The purpose of these regulations is to expand entertainment opportunities in the pedestrian-focused commercial and service node of downtown, allowing for more destination venues". Section 410.845. Purpose Statement. [Ord. No. 6596, 5-28-2019]

To this end, project designs should contribute to a distinctive district character and identity while providing a positive human-scaled pedestrian-oriented experience and encouraging architectural contextuality, creativity and diversity.

Q & A

Draft Development Standards & Design Guidelines

Design Guidelines

MODIFIED CENTRAL BUSINESS DISTRICT CORE OVERLAY DISTRICT

II.A. Objective & Definition

I.A.1. Development Standards Definition:

- (a) The primary objective of these Design Guidelines and the review process through which they are administered is to achieve design excellence and a vibrant, attractive, and human-scaled Downtown Entertainment District.
- (b) As downtown's Entertainment District the standard for design is high in order to achieve the following: "The purpose of these regulations is to expand entertainment opportunities in the pedestrian-focused commercial and service node of downtown, allowing for more destination venues". Section 410.845. Purpose Statement. [Ord. No. 6596, 5-28-2019]
- (c) To this end, project designs should contribute to a distinctive district character and identity while providing a positive human-scaled pedestrian-oriented experience and encouraging architectural contextuality, creativity and diversity.

II.A.2. Development Standards Sections:

- (a) The Modified Central Business District Core Overlay District Guidelines are comprised of the following sections:
 - (i) Design Excellence Principles
 - (ii) District Guidelines
 - (iii) Architectural Guidelines
 - (iv) Building Elements & Materials
 - (v) Landscape Guidelines
 - (vi) Public Art & Place-Making

II.B. Applicability

II.B.1. District Boundary Description:

- (a) The Modified Central Business Core Overlay District Boundaries are as follows:
 - (i) Beginning at the intersection of the north property line of 8049 Forsyth Blvd. and the centerline of N. Brentwood Blvd.
 - (ii) Centerline of N. Brentwood Blvd., northerly to the centerline of Maryland Ave.

- (iii) Centerline of Maryland Ave., easterly to the east property lines of 7750 Maryland Ave and 10 N. Bemiston Ave. East property line of 10 N. Bemiston Ave., southerly to the east property line of 7740 Forsyth Boulevard. East property line of 7740 Forsyth Boulevard, southerly to the south property lines of 7740 Forsyth Boulevard and 12 S. Bemiston Ave.
 - (iv) South property line of 12 S. Bemiston Ave., westerly to the centerline of S. Bemiston Ave.
 - (v) Centerline of S. Bemiston Ave., southerly to the centerline of Carondelet Ave.
 - (vi) Centerline of Carondelet Ave., westerly to the centerline of S. Central Ave.
 - (vii) Centerline of S. Central Ave., northerly to the centerline of Forsyth Blvd.
 - (viii) Centerline of Forsyth Blvd., westerly to the centerline of N. Brentwood Blvd.
- (b) Refer to Figure 1 District Boundary for an illustration of the District Boundary.

FIGURE 1: District Boundary



I.B.2. Application of the Design Guidelines:

- (a) Development Standards shall apply to all parcels within the District Boundary
- (b) Development Standards shall apply to all development, subject to the following requirements:
 - (i) All new development on parcels following the demolition of an existing building.
 - (ii) Alterations to existing buildings, subject to the following requirements:
 - (A) The Alteration comprises 51% or more of the building's existing floor area.
 - (B) The Alteration comprises an addition of 51% or more of the building's existing floor area.
- (c) Exemptions
 - (i) Accessory buildings located behind the primary building on the site, which are one (1) story or less and 150 square feet or less are exempt from the Development Standards.
 - (ii) Alterations and improvements that do not meet the requirements specified in I.B.2.(b) are exempt from the Development Standards.

II.C. Design Excellence Principles

The following guiding principles provide a foundation for the design guidelines. Each project should be consistent with these guiding principles.

II.C.1. Human-Scaled Buildings

II.C.1.1. Human-Scaled Buildings

People relate best to a building when it includes elements that are at a scale they can easily perceive & experience. Designing a building to convey human scale is critical to creating an appealing public realm. Each building should express a human scale through the organization, scaling, and composition of its architectural elements. Buildings do not need to be "small" to express human scale; a building can accomplish human scale by providing articulation, detail and design elements that break larger-scale masses into smaller visual proportions.

II.C.1.2. Public Realm Activation

The Entertainment District should create a vibrant walkable and sittable destination environment comprised of smaller scale retail. Each project should contribute to the public realm by enhancing pedestrian interest and comfort. Buildings should connect visually and physically to public streets and the sidewalk zone. This is particularly important at the ground level through the third to fifth floor levels.

II.C.1.3. Visually Interesting & Flexible Streets

DEVELOPMENT STANDARDS – DRAFT

The Entertainment District is a significant venue for key community events in the downtown. Each street should be design to accommodate multiple events and all modes of transportation, particularly the pedestrian and bicycle. This is especially important for Central and Forsyth Avenues. As such, the buildings in this district must contribute to the both the ambience at these events and not be serviced from these key streets.

II.C.1.4. Connected Pedestrian Sidewalk Zones

The site layouts and buildings should maximize connectivity with a direct and legible pedestrian sidewalk system with outdoor dining space and public amenities on interfering with pedestrian accessibility. Interruptions to public sidewalks and vehicle-pedestrian conflicts must be avoided. Clear and direct connections between a development site and public areas are important.

II.C.1.5. Design for District Identity & Character

This area has been and should continue to be the “the social heart of the city” with each building creating a distinct and memorable mixed-use downtown destination. To this end, particular attention must be given to the texture, articulation, and materials of the base of the building as well as to the skyline of the building to avoid flat-top buildings and large monolithic facades. Great opportunity existing for street corners to be important gateways into the district and locations of landmark buildings.

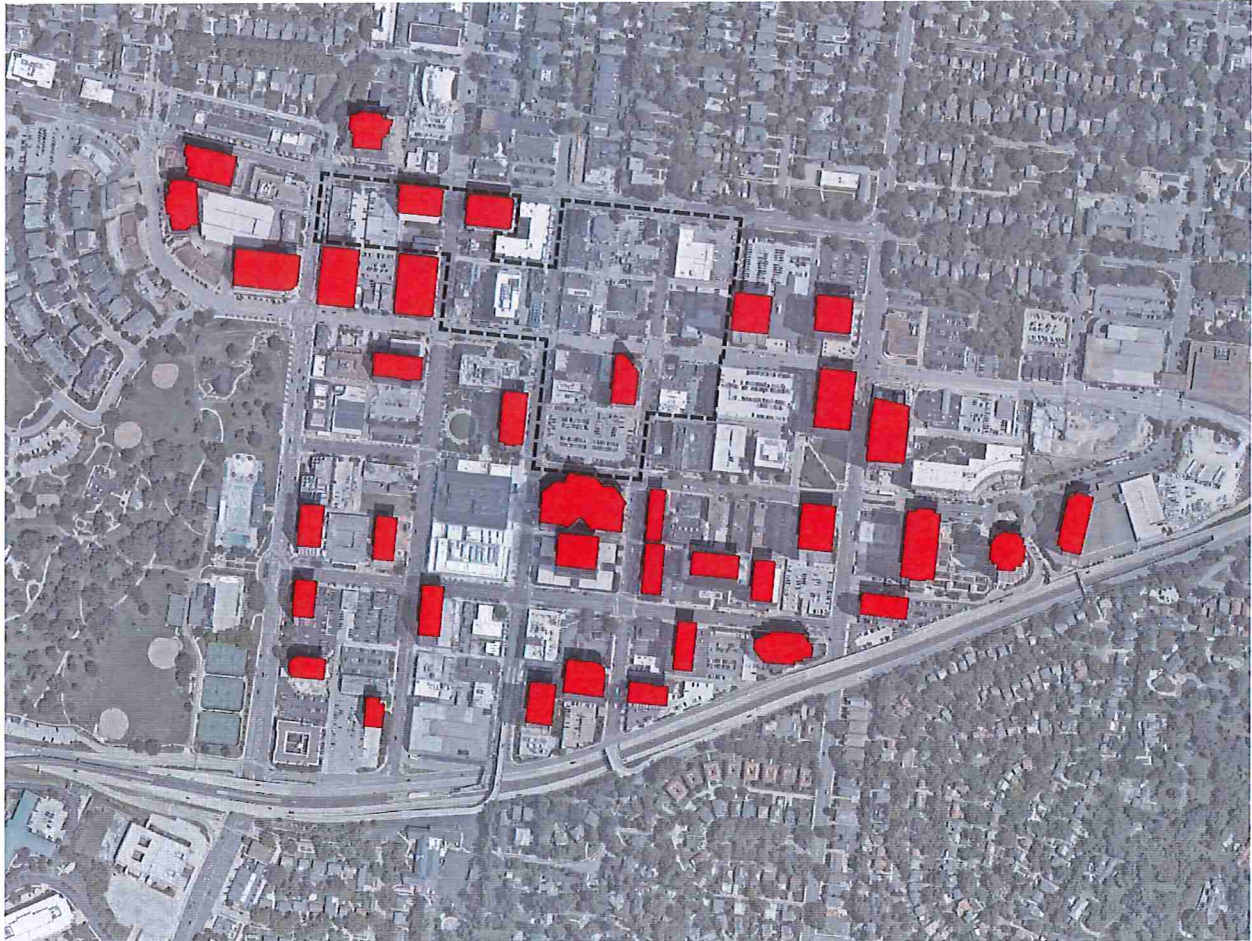
II.C.1.6. Architectural Distinction & Compatibility

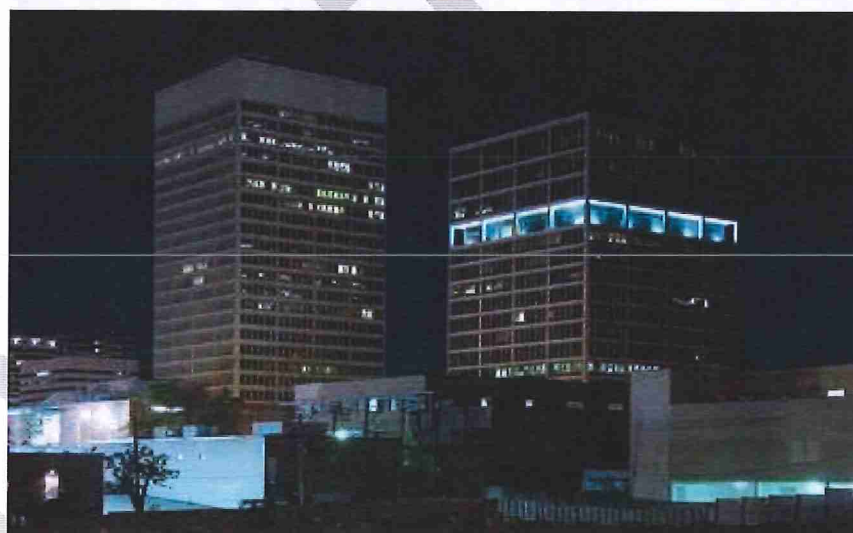
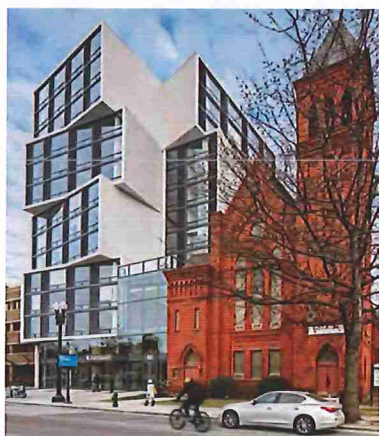
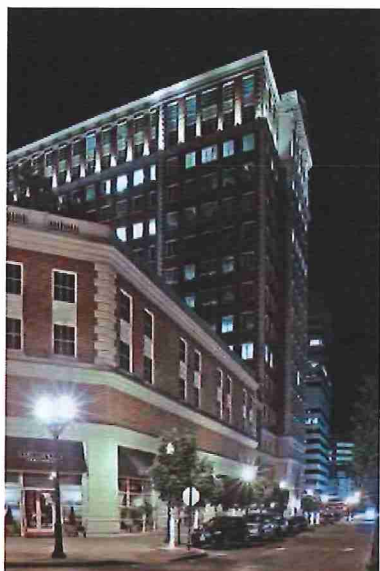
This overlay district has a rich and eclectic mix of architectural traditions that embody the historical character of downtown Clayton. Although the district does not have a unified architectural expression, it possesses a distinctive ambience and the buildings that are highly valued contribute to this ambience through their materials, scale and massing, organization of functions and other features. New infill development should respect this small scale, eclectic design quality by drawing on these qualities. This includes using direct, simple, and honest expression of architectural function and spatial layout; and high-quality durable building materials and construction methods.

II.D. District Guidelines

II.D.1. Skyline, Views, and Vistas

FIGURE 1: Existing Tower Locations





II.D.1.1. Intent

New development in downtown Clayton has been increasing in height and of the base, tower, and top model to accommodate market demand and projected future growth. Collectively, buildings at taller heights can be an imposing presence on the public realm and adjacent residential neighborhoods therefore the taller buildings need to be strategically placed, designed, and identified.

This newer tower type development has contributed to creating downtown's regional identity. Consideration should be given to the collective image and the identity of this Entertainment District within the downtown while at the same time respecting the need to "step-down" the building height to the neighborhood scale.

II.D.1.2. Guidelines

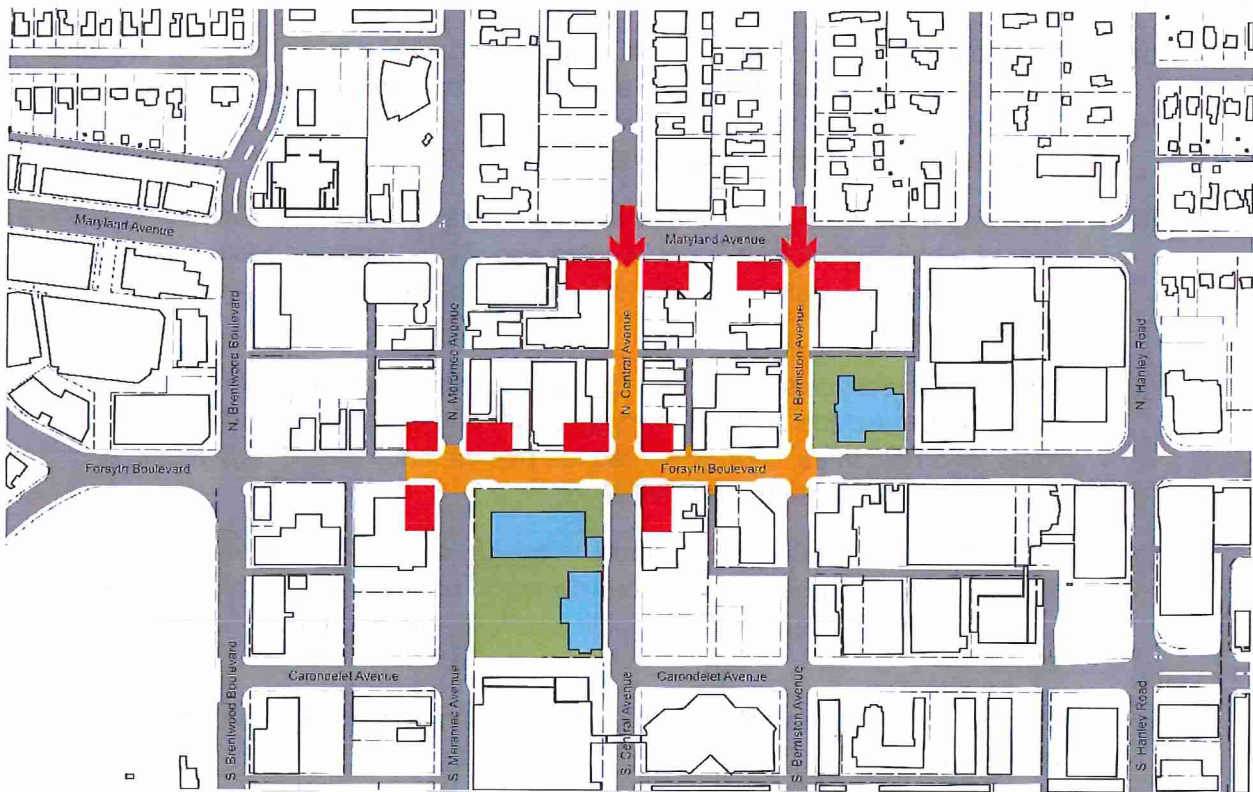
- (a) Use the overall form of individual buildings and architectural features to create a varied and textured skyline and signature views and vistas from the street level, public spaces, and adjacent residential areas.

(b) To the extent possible, limit the number of “flat top” buildings and the simple “extrusion” expression of the maximum building mass based on the Development Standards. The larger footprint of the building the more important that the building creates utilizes one or more of the following strategies:

- (i) Vary tower placement, orientation, heights, and size within a large development which has with several towers or an infill development between multiple towers to increase the skyline texture, create views and vistas from the street level. And create vista’s and limit the shadows on the public realm.
- (ii) Use unique geometry that adds visual interest and helps to reduce the perceived bulk of a building’s upper floors. Angled and curved facades allow a building to be viewed dynamically from different vantage points and can enhance privacy between towers.
- (iii) Modulate and articulate facades to break up large facades and reduce perceived building bulk include shifts in massing to allow for upper floor terraces, green roofs, and balconies; changes in facade planes; and varied fins, frames, and mullions to add depth to glass facades.
- (iv) Articulate tower rooftop to contribute to the skyline and adding visual interest. Tower tops should be carefully considered on prominent sites, block corner lots and locations adjacent to major public open spaces and those that terminate views.
- (v) Night lighting has the potential to create both an ambiance at the street level and an identity from afar.

II.D.2. Gateways and Entrances

FIGURE 2: District Gateway Locations



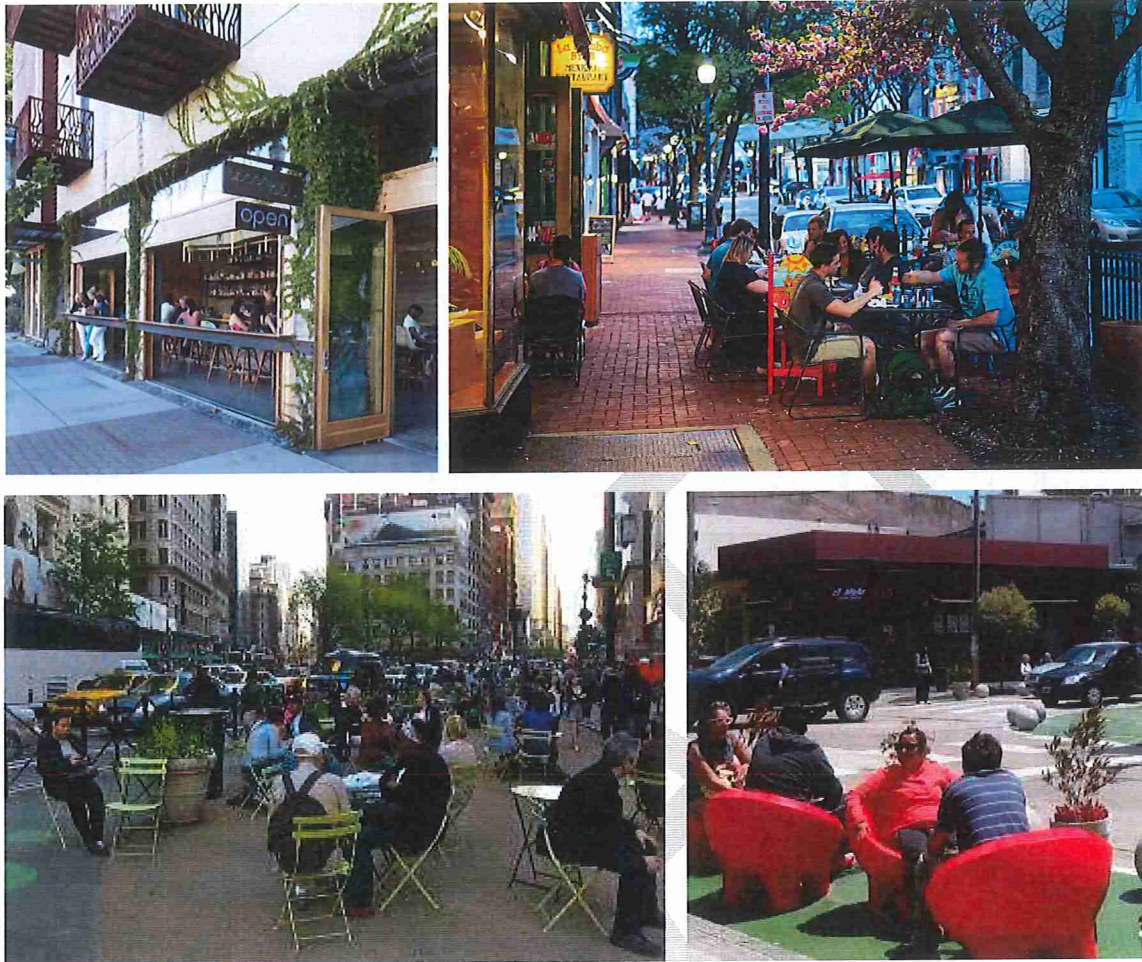
II.D.2.1. Intent

The gateways and entrances to the District needs to be celebrated with landmark buildings that utilize architectural features to provide legibility and identity on the corners.

II.D.2.2. Guidelines

- (a) Corner Building sites can serve as gateways or focal points in the district and require careful detailing at the first three to five floors and the skyline due to their high visibility from two or more streets and long distances.
- (b) Provide a strong urban edge to both faces of the block but require the articulation of the corner with an articulated corner such as chambered, recessed or tower corners.
- (c) Consider using a corner to provide extra space for pedestrians and a generous entry to the building.
- (d) Integrate the streetscape & place-making elements into the design of the corner and street intersection.

II.D.3. Sidewalk Activation



II.D.3.1. Intent

To encourage active vibrant retail and entertainment streets by providing ground-floor and base design elements that engage with the public realm and sidewalk environment to create a human-scaled, walkable and sittable area, and an interesting, comfortable, and varied space for socialization.

II.D.3.2. Guidelines

- (a) Retail thrives in well designed & managed streetscapes and public spaces. The public realm should help create a unified image and defined visual structure for the retail and entertainment area and for an inviting and comfortable pedestrian environment. Elements of the public realm must be complementary uses to the retail and entertainment uses and not competing or distracting uses.
- (b) Ideal sidewalk width in pedestrian-oriented urban retail districts is 16 to 20 feet.
- (c) Adding to public life: Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life. Consider

features such as widened sidewalks, recessed entries, curb bulbs, courtyards, plazas, or through-block connections, along with place-making elements such as trees, landscape, art, or other amenities (see place-making).

(d) Adding to retail spill-over: Seek opportunities for retail goods to be displayed on the sidewalk.

(e) Connect on-site pedestrian walkways with existing public and private pedestrian infrastructure, thereby supporting pedestrian connections within & outside the project. Consider the design of service alley to be integral to the ped. system.

(f) Provide ample space for pedestrian flow and circulation, particularly in areas where there is already heavy pedestrian traffic or where the project is expected to add or attract pedestrians to the area. Ensure full universal accessibility.

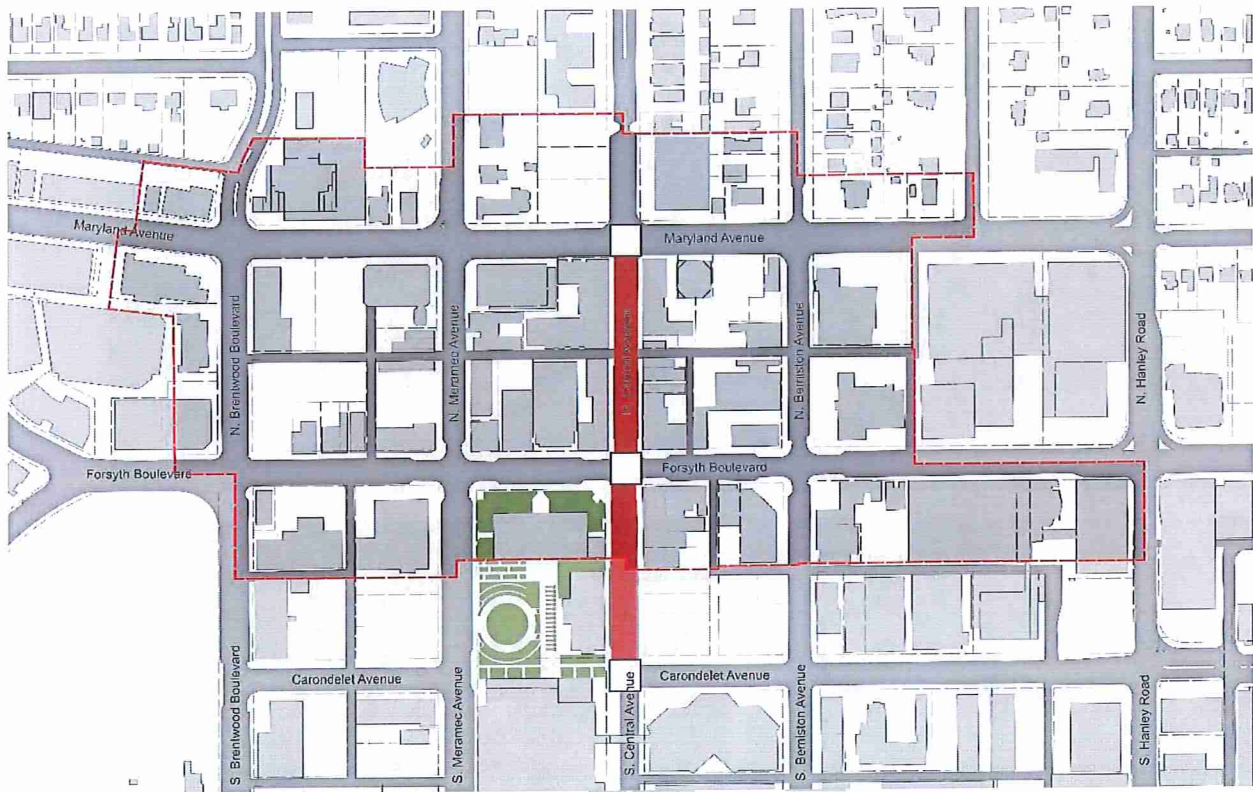
(g) Provide frequent entries, transparency, and operable walls where possible to encourage visual and physical connections between the ground floor and the public sidewalk. Avoid long blank walls along the sidewalk.

(h) Orient private balconies and terraces toward the street to encourage an interface between the private and public realms and to create eyes on the street.

(i) Include elements such as textured materials, awnings, plantings, signage, and seating to create a visually engaging and inviting building edge to frame the sidewalk and create stopping points to relax, gather and socialize.

II.D.4. Street and Sidewalk Design

FIGURE 3: Central Avenue Entertainment District



II.D.4.1. Intent

Central Avenue should be designed as a unique Special Events / Entertainment street.

II.D.4.2. Guidelines

- (a) Design sidewalk and street pavement as an integrated plaza and special events venue with sufficient infrastructure to support the variety of anticipated events.
- (b) Maximize sidewalk width for priority on outdoor dining / entertainment & public amenities and art
- (c) Maximize street corner design with bump-outs and opportunities for place-making and public areas
- (d) Design for traffic calming, slow speeds & shared uses
- (e) Provide operationally flexible public parking with for shared service/taxi drop-off areas and micro-mobility.
- (f) No parking garage exits permitted
- (g) Require ground floor uses to be primary small-scale retail and/or restaurants and entertainment uses with a high degree of transparency and numerous venues

- (h) Require high-degree of building façade articulation.

II.D.5. Temporary Uses and Events



II.D.5.1. Intent

Utilize the public realm for temporary uses and events to maintain an active environment and draw people to the area. Provide flexibility for temporary events such as pop-up events and public gatherings.

II.D.5.2. Guidelines

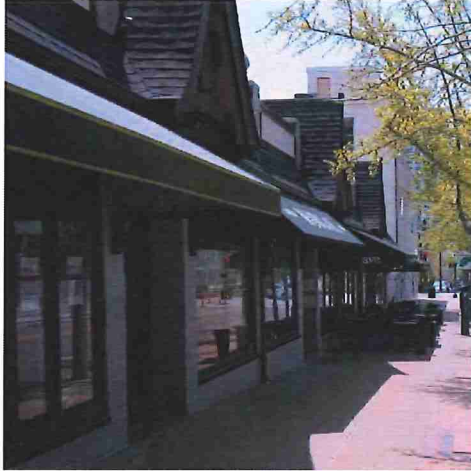
- (a) Temporary closure of local streets to enlarge the public realm and provide expanded space for short-term public gathering and events. Maintain good vehicular circulation around the closed off area.
- (b) Design shared streets to be partially or temporarily closed to vehicular traffic (at various intervals) to serve as linear plazas or markets and other community events.
- (c) Activate the parking lane by allowing short-term pop-up parklets/seating. Allow retail and food trucks to further diversify offerings in the area or compliment current businesses.

- (d) Provide the necessary infrastructure design for these uses.

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II.E. Architectural Guidelines

II.E.1. Compatibility



II.E.1.1. Intent

Most new projects will be infill development, therefore design should respect the existing character and scale of the adjacent development and overall character of the street

II.E.1.2. Guidelines

- (a) Maintain the character of small-scale retail streets by creating ground-floor retail with awnings, signage and bays that reflect the dimensions and design of adjacent existing stores. Step back upper floors to continue the pedestrian experience along the sidewalk of a low to mid-rise building.
- (b) Require a sunlight impact study for all new development detailing impact on public spaces. Ensure minimal negative impact on active sidewalks.
- (c) Provide transitions to adjacent buildings & sensitive edge conditions by including elements such as: stepped-down building heights; a varied massing to break down larger scaled

buildings and the use of fine-grain building articulation, such as variations in wall planes, colors, materials, and textures.

II.E.2. Roof and Step Back Use



II.E.2.1. Intent

To encourage active uses of roof and set-back areas or, at a minimum, green roofs.

II.E.2.2. Guidelines

- (a) Use of Roofs and building set-back are encouraged as active roof terraces.
- (b) The roof terrace must be setback a minimum of 6' from the front façade of the building if the design is not architecturally integrated with the façade.
- (c) Open railing systems (or fencing) must not be visible from the street, as viewed from standing height at the sidewalk across the street.
- (d) As part of the submittal for design review, a diagram may be requested to indicate the site line from the sidewalk across the street to the roof terrace.

II.E.3. Retrofitting of Existing Buildings



II.E.3.1. Intent

There are many buildings that are unlikely to be redeveloped for many decades, but that are in need of retrofits to change the building use, add additional floors to accommodate expansion or provide a face-lift to attract new tenants. Retrofits of existing buildings are encouraged because they maintain the existing scale and character of established districts while breathing new life into older building stock.

II.E.3.2. Guidelines

- (a) Integrate elements such as new materials, transparency, color, and enhanced landscapes in retrofits of large buildings with imposing massing and bulk. These elements create human-scaled details that can add visual interest and provide a more inviting pedestrian environment.
- (b) Consider ground-floor retrofits with liner retail or other active uses for existing buildings and parking structures with a poor relationship to the sidewalk.

- (c) Retrofitted buildings that add additional floors should not be required to step-back floors one (1) through five (5) if infeasible due to existing structural design.

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II.F. Building Elements & Materials

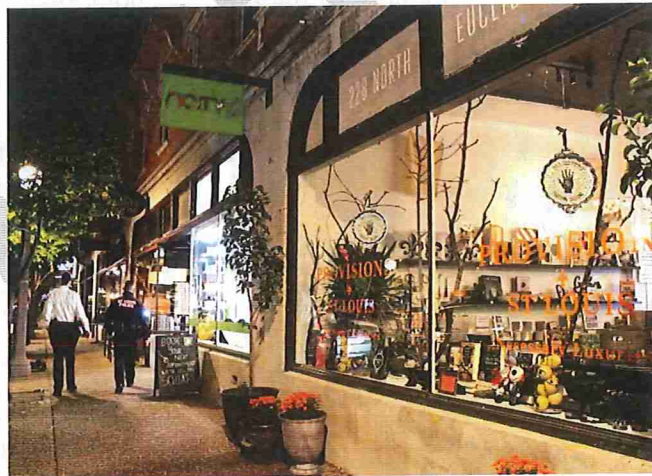
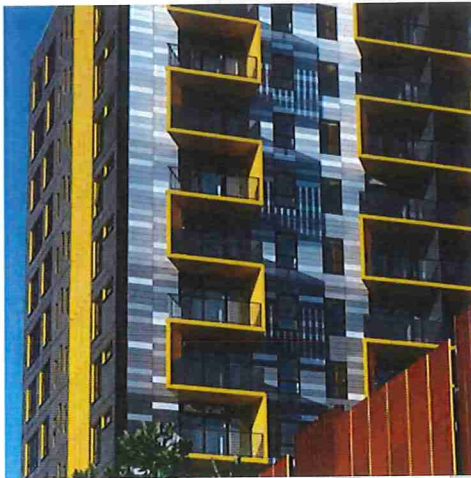
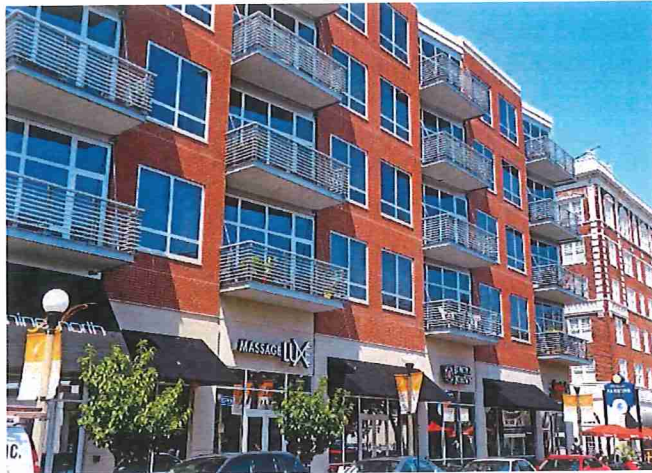
II.F.1. Building Elements

II.E.1.1. Intent

To maintain a human scaled architecture building elements and design should contribute to place-making for an urban walkable retail and entertainment district with appropriate scale and massing.

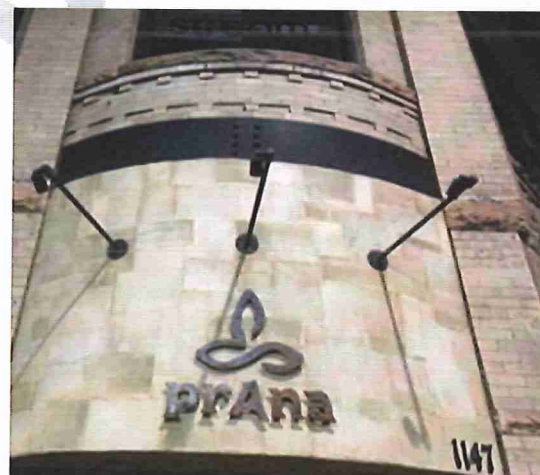
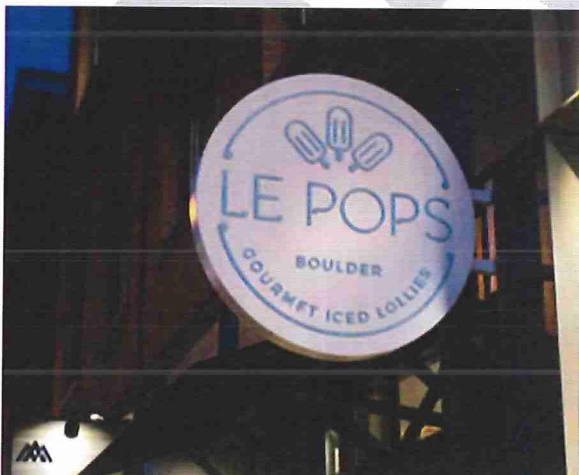
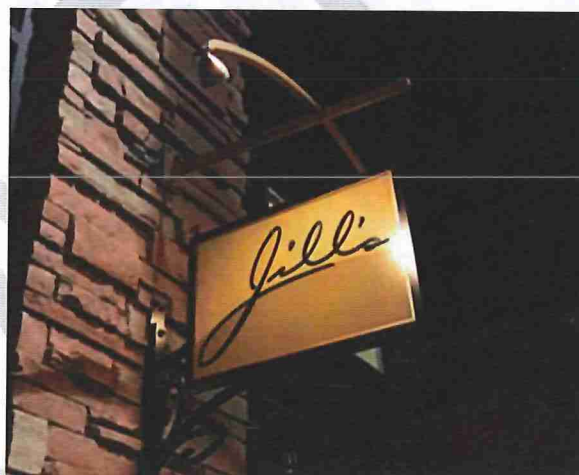
II.E.1.2. Guidelines

- (a) Ground floor windows and doors: Ground floor façade facing a public street shall be made of transparent materials, meaning glass, or other similar materials that possess a minimum 60% transmittance factor and a reflectance factor not greater than 0.25, or otherwise designed to allow pedestrians to view activities inside the buildings.
- (b) Upper floor windows and doors: Upper floors should incorporate traditional vertically proportioned window openings with less window glazing and transparency than the lower floors.
- (c) Balconies are encouraged on street facades, but not required. A max of 40% of frontage facades may be covered with balconies. False balconies are prohibited and balcony support structures must be integrated with building façade. Balconies may encroach into the R.O.W.
- (d) Canopies, awnings & light shelves may encroach into the R.O.W. Shall provide at least 8ft of clearance over any walkway. Materials shall be canvas or metal and frames shall be wall mounted (support poles prohibited*). Extendable awnings are possible. Multiple awnings on facades types and colors shall be coordinated.

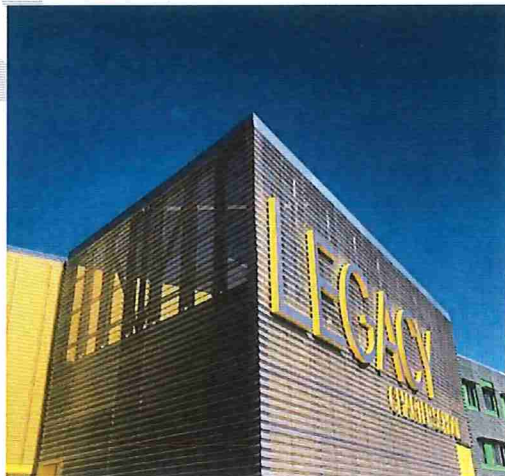


(e) Building signage should be an integral part of the overall building design. Signs should not obscure important architectural details. Principal sign types appropriate for the district include:

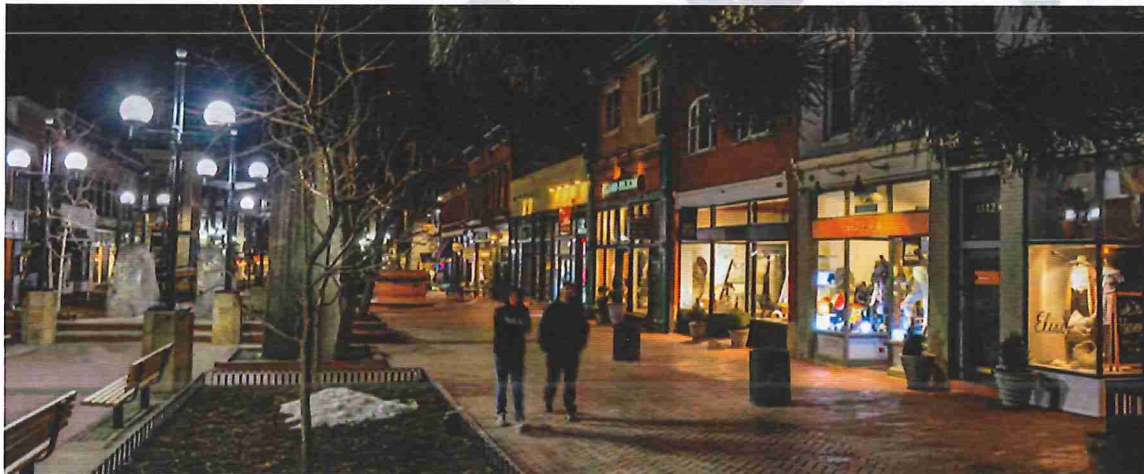
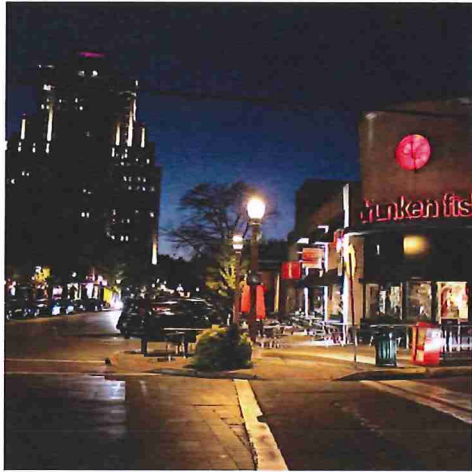
- (i) wall signs – positioned within architectural features and align with others on a block to maintain established patterns;
- (ii) projecting signs – positioned along the first-floor level of the façade and may take on their own special shape or create their own symbol within the overall façade design; and
- (iii) awning signs – positioned to emphasize special shapes or details of the façade, to draw attention to the shop entrances or to emphasize a display window. Internally lit signs are discouraged. Where there is sufficient ambient light avoid signage lighting. Illuminated wayfinding signage is appropriate (i.e., structured parking entrances).



- (f) Building equipment needs to be located to minimize visual impact. Mechanical equipment should be located within the building when possible. Rooftop equipment should be incorporated into roof design and set back from frontage façade to limit visibility. All building equipment should be screened from view from any public vista. Mechanical appurtenances shall not be located on primary facades.
- (g) Loading docks shall be located in and accessed from service alley.
- (h) Trash collection shall be accessed from service alley.
- (i) Screens and screening should be used to hide from public view elements that negatively impact and detract from the design of a building. The form, material and color of the screening shall be consistent with the building design, colors, and materials. Screening should not increase the apparent height of the walls of the building, and the height of any screen should be the minimum appropriate to adequately conceal.



(j) Night lighting on the exterior of the building should be designed for architectural, aesthetic, or decorative purposes. Lighting should be used to create pleasing pedestrian spaces utilizing low lighting levels (i.e., string lighting over an outdoor dining area). Ambient light should come from building façade lighting, storefronts, and signage. Security lighting should be designed for safety, as well as night-time appearance.



II.F.2. Building Materials



II.F.1.1. Intent

To provide material standards to ensure use of well-tested, high quality, durable, weather-resistant, exterior grade, preferably natural materials on the majority of finished surfaces. High quality materials can improve quality of buildings in that they weather well, have a low failure rate, require less maintenance, and create buildings with a longer lifecycle and a sense of permanence.

II.F.1.2. Guidelines

- (a) Limit the number of façade materials to promote simpler, clearly articulated facades. Encourage a high level of detail from smaller scaled, less monolithic materials in order to relate facades to pedestrians, especially as the ground level.
- (b) Material changes should occur at inside corners or be delineated by a specific transitional detail such as a belt course, cap or reveal.
- (c) Major Materials

- (i) Major materials shall make up 80% of each façade (not including window and door areas) with a minimum 60% of each façade being a single major material for a simplicity of surface materials.
- (ii) The following are allowed major materials:
 - (A) stone;
 - (B) brick;
 - (C) wood; and
 - (D) architectural metal panel systems.
- (iii) The following are prohibited major materials:
 - (A) face-sealed EIFS synthetic stucco assemblies and decorative architectural elements;
 - (B) synthetic stucco or elastomeric finishes on stucco;
 - (C) unfinished or untreated wood;
 - (D) glass block;
 - (E) vinyl siding;
 - (F) plastic (including high-density polyethylene, PVC, and polycarbonate); and
 - (G) fiberglass and acrylic panels.
- (iv) The following are limited use major materials (non-visible from main streets):
 - (A) economy bricks;
 - (B) fiber cement board;
 - (C) cement-based stucco; and
 - (D) concrete masonry units.
- (d) Minor Materials:
 - (i) Minor materials shall be limited to trim, details, and other accent area that combine to 25% or less of the total surface of each façade. Note: all allowed major materials may serve as minor materials.
 - (ii) The following are allowed minor materials:
 - (A) fiber cement and wood trim pieces;
 - (B) metal for beams, lintels, trim, exposed structure, and other ornamentation;
 - (C) split-faced, burnished, glazed, or honed concrete masonry units or block cast stone concrete elements;

- (D) vinyl for window trim;
 - (E) glass curtain wall;
 - (F) cement-based (2 or 3 coat) or cement-hybrid stucco for surfaces; and
 - (G) terra cotta or ceramic tiles or panels.
- (iii) The following are prohibited minor materials:
- (A) face-sealed EIFS synthetic stucco assemblies and decorative architectural elements; and
 - (B) elastomeric finishes on stucco.
- (iv) The following are limited use minor materials (allowed as minor surface materials in upper story facades only):
- (A) fiber cement board.

II.G. Landscape Guidelines

II.G.1. Green Cover



II.E.1.1. Intent

To increase overall sense of human comfort, integration of nature, reduce heat island effect, improve air quality, and improve ecological biodiversity.

II.E.1.2. Guidelines

Vertical green walls can be used as a façade treatment, as well as a material for screening. Greenways can soften and bring interest to otherwise blank walls, such as in alleys.

Micro-greening integrates landscape into building design through elements such as planter boxes with climbers, hanging baskets and miniature rain gardens.

Outdoor garden or landscaped courtyard designed for the use of the occupants of the building while providing convenient access to nature, should be integrated into buildings circulation paths.

II.F.2. Vegetated Roofs



II.E.2.1. Intent

To reduce heat island effect, decrease the buildings demand for heating and cooling, and provide additional habitat and valuable open space in the district.

II.E.2.2. Guidelines

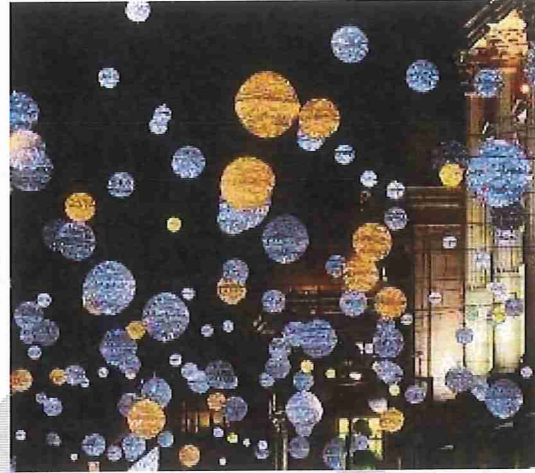
- (a) The following types or vegetated ("green") roofs are permitted:
- (i) Extensive vegetated roof: A lightweight system with shallow soil, have limited species to primarily mosses, succulents, sedums, selective herbs, and a few grasses
 - (ii) Semi-intensive vegetated roof: A deeper soil media layer between 5-7 inches with a weight between 25- 40 lbs. per square foot. Capable of supporting a richer variety of plants, including flowering plants, herbs, grasses, and small shrubs.
 - (iii) Intensive vegetated roof: A roof with a soil media greater than 8 inches. They can support more diverse plant communities, including tall grasses, vegetables, fruit and other trees, and shrubs which allow for greater biodiversity. They are most

often found on commercial buildings, and require a more supportive roof structure. They often include paths, walkways and seating areas allowing for human uses

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II.H. Public Art & Place-making

II.H.1. Public Art



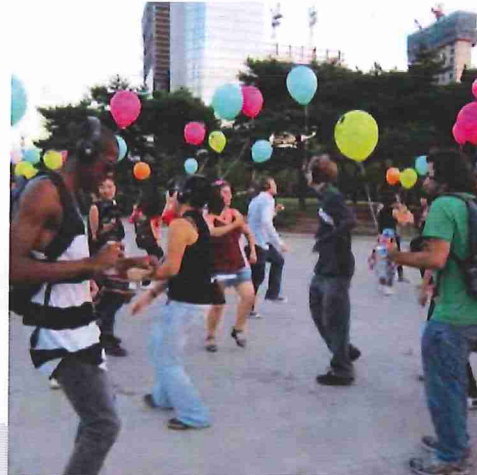
II.H.1.1. Intent

To encourage the placement of Public Art to create a unique sense of place and identity for the district.

II.H.1.2. Guideline

Follow the City policies and procedures for “acquiring, promoting and enhancing public art” as required by the Public Art Advisory Committee and the Public Art Master Plan as revised December 2017

II.H.2. Creative Place-making



II.H.2.1. Intent

Creative placemaking is intended to activate public spaces and to engage community members and visitors, and to provide opportunities for short-term improvements that enhance community quality of life.

II.H.2.2. Guidelines

- (a) Creative placemaking in streets: Active streets can become destinations, enhance foot traffic to local businesses and provide additional outdoor spaces for residents of all ages.
- (b) Creative placemaking in parking lots and underutilized spaces: Portions or all of parking lots can be transformed into pop-up public spaces for interim or seasonal use or on weekends. Adding food trucks, seating, lighting, and color can make parking lots and other underutilized spaces inviting and invigorate districts in the downtown that have less street activity.
- (c) Creative placemaking in existing parks and open spaces such as urban beaches, colorful lighting and hammocks can transform existing parks and privately owned public spaces into vibrant destinations in the downtown.



City Manager
10 N. Bemiston Avenue
Clayton, MO 63105

REQUEST FOR BOARD ACTION

TO: MAYOR HARRIS; BOARD OF ALDERMEN

FROM: DAVID GIPSON, CITY MANAGER
SUSAN M. ISTENES, AICP, DIRECTOR, PLANNING & DEV. SERVICES

DATE: JULY 27, 2021

SUBJECT: ORDINANCE - TO CORRECT CLERICAL ERRORS IN ORDINANCE NO. 6674 (RELATED TO BEMISTON PLACE PROJECT) TO ACCURATELY REFLECT THE INTENT AND ACTION OF THE BOARD OF ALDERMEN

On December 22, 2020, the Clayton Board of Aldermen considered and approved Ordinance No. 6674 for the establishment of a mixed-use Planned Unit Development known as Bemiston Place. The mixed-use structures will contain approximately 268,535 square feet of floor area, including apartment units, retail and restaurant spaces, and a parking garage. The applicant recently approached the City of Clayton to clarify the amount of retail space, which was originally approved at 10,667 square feet of retail. Upon further review, the applicant determined that the initial square footage calculation included a hallway measuring 308 square feet in area that should not have been classified as retail. Subsequently, the applicant submitted an application to revise the ordinance to ensure accuracy. While reviewing the applicant's request, staff further identified two locations in the ordinance where the number of apartment units was not consistent with the final Development Plan.

The areas of the ordinance requiring correction are as follows:

Ordinance No. 6674, paragraph 3 erroneously stated that the Bemiston Place Mixed Use Planned Unit Development permits 236 Rental Apartments and 10,667 square feet of retail/restaurant space; *and*

Exhibit C, Section A (1) "Permitted Uses Identified in the PUD Plans as Residential" of Ordinance 6674, erroneously stated that the Bemiston Place Mixed Use Planned Unit Development permits 246 Rental Apartment Dwelling Units; *and*

Exhibit C, Section B "Development Standards" erroneously noted in the Development Standards Table that 326 Apartment Dwelling Units are permitted; *and*

Exhibit C, Section B "Development Standards" erroneously noted in the Development Standards Table that 10,667 square feet of commercial space is permitted;

The specific revisions are as follows:

Ordinance No. 6674, paragraph 3 shall state that the Bemiston Place Mixed Use Planned Unit Development permits 237 Rental Apartments and 10,300 square feet of retail/restaurant space;

Exhibit C, Section A (1) "Permitted Uses Identified in the PUD Plans as Residential" of Bill 6814, Ordinance No. 6674: The Planned Bemiston Place Mixed Use Planned Unit Development permits 237 Rental Apartment Dwelling Units; and

Exhibit C, Section B "Development Standards" the Development Standards Table should note that 237 Apartment Dwelling Units are permitted; and

Exhibit C, Section B "Development Standards" the Development Standards Table should note that 10,300 square feet of commercial space is permitted.

STAFF RECOMMENDATION: To approve the attached ordinance as proposed.

BILL NO. 6852

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF CLAYTON, MISSOURI, AUTHORIZING AND DIRECTING THE EXECUTION OF CORRECTIONS TO ORDINANCE NO. 6674 TO ACCURATELY REFLECT THE INTENT AND ACTION OF THE BOARD OF ALDERMEN WITH RESPECT THERETO

WHEREAS, on December 22, 2020, the Clayton Board of Aldermen culminated its consideration of certain land use applications and received extensive documentary and testimonial evidence prior to consideration of Bill No. 6814; and

WHEREAS, among the presentations and representations made to the Board of Aldermen prior to any action by the Board with respect to the bill in question were the following specific descriptions of what the proposed legislation was intended to accomplish, to wit:

The specific revisions are as follows:

* * *

Exhibit C, Section A (1) "Permitted Uses Identified in the PUD Plans as Residential" of Ordinance No. 6674: The Planned Bemiston Place Mixed Use Planned Unit Development permits 237 Rental Apartment Dwelling Units

* * *

Exhibit C, Section B "Development Standards" the Development Standards Table should note that 237 Apartment Dwelling Units are permitted

* * *

Exhibit C, Section B "Development Standards" the Development Standards Table should note that 10,300 square feet of retail is permitted.

and

WHEREAS, contrary to the statements and representations aforesaid and contrary to the understanding and intent of the Board of Aldermen when acting upon the ordinance executed by the responsible city officials after action by the Board of Aldermen contained the following scrivener's errors, to wit:

Exhibit C, Section A (1) "Permitted Uses Identified in the PUD Plans as Residential" of Bill 6814, Ordinance No. 6674, erroneously stated that the Bemiston Place Mixed Use Planned Unit Development permits 246 Rental Apartment Dwelling Units;

And

Exhibit C, Section B "Development Standards" erroneously noted in the Development Standards Table that 326 Apartment Dwelling Units are permitted;

And

Exhibit C, Section B “Development Standards” erroneously noted in the Development Standards Table that 10,667 square feet of retail is permitted.

and

WHEREAS, correcting these scrivener’s errors is within the authority of the Board of Aldermen and will serve to conform the final approved ordinances to the understanding intent of the Board at the time of passage;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF CLAYTON, MISSOURI, AS FOLLOWS:

SECTION 1. The corrected version of Ordinance No. 6674, attached hereto and incorporated herein by this reference, is hereby declared *nunc pro tunc* to be the true and accurate version of the Ordinance enacted by the Board of Aldermen on December 22, 2020.

SECTION 2. The Mayor and City Clerk are hereby authorized and directed to execute and attest *nunc pro tunc* to the corrected version of Ordinance No. 6674 as being the true and accurate version of the legislation approved by the Board of Aldermen on December 22, 2020.

Passed by the Board of Aldermen this 27TH day of July 2021.

Mayor

Attest:

City Clerk

BEMISTON PLACE
A
PLANNED UNIT DEVELOPMENT (PUD)

**REGULATIONS AND SUPPORTING MASTER PLAN GOVERNING BEMISTON PLACE, A PLANNED UNIT DEVELOPMENT
PURSUANT TO THE PROVISIONS OF THE CITY OF CLAYTON LAND USE REGULATIONS.**

DATE REVIEWED BY PLAN COMMISSION **DECEMBER 21, 2020**

DATE APPROVED BY BOARD OF ALDERMEN _____

ORDINANCE NUMBER _____

LIST OF SECTIONS

SECTION A	PERMITTED AND ACCESSORY USES
SECTION B	DEVELOPMENT STANDARDS
SECTION C	LEGAL DESCRIPTION (AT TIME OF APPLICATION FOR PUD)
SECTION D	PUBLIC BENEFITS
SECTION E	DEVELOPMENT COMMITMENTS
SECTION F	PUD MASTER DEVELOPMENT PLAN
SECTION G	BOUNDARY SURVEY

SECTION A PERMITTED AND ACCESSORY USES

BEMISTON PLACE PUD

Consistency Statement:

The property is in the North Central District as identified in the Downtown Clayton Master Plan. The vision of the North Central District is to “grow at a human scale at key pedestrian street, with fine-grained development, active streets and walkable commercial areas.” The proposed uses and design will increase pedestrian activity levels and retain the already active streets of Central Avenue and Maryland Avenue consistent with the Downtown Master Plan.

The proposed development and design enhance an already active pedestrian-oriented street environment along Central Avenue and Maryland Avenue and will create a more active street environment along Bemiston Avenue.

Development of the Bemiston Place Mixed Use Planned Unit Development (PUD) shall be in accordance with the contents of this ordinance and applicable sections of the Land Use Code and City Master Plan in effect at the time of issuance of any development order, such as but not limited to, Subdivision Plat, Site Plan, Demolition Permit, Building permit, to which such regulations relate. Where these regulations fail to provide developmental standards, then the provisions of the most similar district shall apply.

Permitted Uses Identified in the PUD Plans as Commercial/Retail:

A. Principal Uses and structures:

1. Pursuant to Section 405.3290 of the City of Clayton Zoning Code, all uses identified as Permitted Uses by right for the “HDC” District in effect at the time of building permit application.
2. All uses identified in the Entertainment District Overlay Zone.

B. Permitted Accessory Buildings or Uses:

Any subordinate building or use customarily incidental to and located on the same lot occupied by the main building or use, subordinate in area, extent and purposes to the main building, limited to and contributing to the comfort, convenience or necessity of the occupants of the main building.

Permitted Uses Identified in the PUD Plans as Residential:

A. Principal Uses and structures:

1. ~~246-237~~ Rental Apartment Dwelling Units

B. Permitted Accessory Buildings or Uses:

Any subordinate building or use customarily incidental to and located on the same lot occupied by the main building or use, subordinate in area, extent and purposes to the main building, limited to and contributing to the comfort, convenience or necessity of the occupants of the main building, including the Shanley Building.

SECTION B DEVELOPMENT STANDARDS

All facilities shall be constructed in accordance with the approved Site Plan, Architectural Plans, Subdivision Plat and all applicable State and local laws, codes and regulations applicable to this PUD. Except where specifically noted or stated otherwise, the standards and specifications of the City of Clayton Zoning Regulations and Subdivisions Regulations shall apply to this project. The developer, his/her successor and assigns to title of the subject property shall be responsible for the commitments outlined in this document.

Development Standards

Development Standard	Requirement
Height (Maximum)	76 feet 8 inches
Floor Area Ratio	3.94
Setback (rear) Alley	0 feet
Setback (front) Bemiston Avenue	20 feet
Setback (front) Maryland Avenue	6 feet from back of sidewalk
Setback (front) Central Avenue	3 feet
Setback (internal)	0 feet
Parking (automobile)	346 total
Parking (bicycle)	20 racks
Commercial Space	10,667 <u>10,300</u> square feet
Apartment Units	236 <u>237</u> dwelling units

SECTION C

LEGAL DESCRIPTION
BEMISTON PLACE PUD (Prior to rezoning and replat)

TOTAL TRACT

LEGAL DESCRIPTION

PARCEL 1:

Part of Lots 9, 10 and 11 in Block 11 of Town of Clayton, St. Louis County, Missouri, described as:

Beginning at a point in the South line of Maryland Avenue, 80 feet wide, distant 40.72 feet West of the West line of Bemiston Avenue, 80 feet wide; thence Westwardly along the South line of Maryland Avenue, 119.28 feet to the West line of Lot 10; thence Southwardly along the West line of Lot 10, 97.71 feet to a point; thence Westwardly and parallel to the North line of a 20 foot wide alley, a distance of 40 feet; thence Southwardly along a line parallel to and 40 feet distant from the West line of Lot 10, 115 feet to the North line of said 20 foot wide alley; thence Eastwardly along the North line of said alley, 80 feet to a point 40 feet East of the most East of the most Southwest corner of Lot 10; thence Northwardly and parallel to the West line of Lot 10, 60 feet to a point; thence Eastwardly and parallel to the South line of Maryland Avenue 45 feet to a point; thence Northwardly along a line parallel with the West line of Lot 10 a distance of 54 feet to a point; thence Eastwardly 34.46 feet to a point in a line parallel with the West line of Lot 10 and distant 95.21 feet from the South line of Maryland Avenue; thence Northwardly and parallel to the West line of Lot 10, 95.21 feet to the point of beginning.

PARCEL 2:

Part of Lots 11 and 12 in Block 11 of the Town (now City) of Clayton, and described as beginning at a point in the East line of Central Avenue, distant 30 feet North of the Southwest corner of said Lot 12; thence North along the East line of Central Avenue, 35 feet to a point; thence East and parallel with the South line of Henderson (now Maryland) Avenue, 120 feet to a point; thence South and parallel with Central Avenue 65 feet to the North line of an alley 20 feet wide; thence West along said North line 40 feet to a point; thence North and parallel with Central Avenue, 30 feet to a point; thence West 80 feet to the point of beginning.

PARCEL 3:

Part of Lots 11 and 12 in Block 11 of Town of Clayton, a Subdivision in St. Louis County, Missouri, as per plat thereof recorded in Plat Book 1 page 11 now 7 of the St. Louis County Records, and described as follows: Beginning at a point in the East line of Central Avenue, 65 feet North of the Southwest corner of said Lot 12; thence North along said East line of Central Avenue, 50 feet; thence East along the South line of property now or formerly of Arthur J. Kerth, 120 feet to a point; thence South parallel with said East line of Central Avenue, 50 feet to a point; and thence West 120 feet to the beginning.

PARCEL 4:

The North 97 feet 8-1/2 inches of Lot 12 in Block 11 of the Town of Clayton, a subdivision in St. Louis County, Missouri, as per plat thereof recorded in Plat Book 1 page 7 of the St. Louis County Records.

PARCEL 5:

The North 97 feet 8-1/2 inches of Lot 11 in Block 11 of Town of Clayton, a subdivision in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 1 page 11, now 7 of the St. Louis County Records.

PARCEL 6:

Part of Lot 9 in Block 11 of the Town of Clayton in St. Louis County, Missouri, and described as:

Beginning at a point in the South line of Maryland Avenue, distant 40.72 feet West of the West line of Bemiston Avenue, thence East along the South line of Maryland Avenue 40.72 feet to the West line of Bemiston Avenue, thence Southwardly along the West line of Bemiston Avenue, a distance of 152.71 feet to a point, thence Westwardly and parallel to the South line of Maryland Avenue, a distance of 75 feet to a point, thence Northwardly and parallel with the West line of Bemiston Avenue, a distance of 54 feet, thence Eastwardly a distance of 34.46 feet to a point, which is distant 40.72 feet West of the West line of Bemiston Avenue and 95.21 feet South of the South line of Maryland Avenue, thence Northwardly and parallel with Bemiston Avenue 95.21 feet to the place of beginning.

PARCEL 7:

The South 60 feet of Lot 9 and the South 60 feet of the East 1/2 of Lot 10 in Block 11 of the Town (now City) of Clayton, as per plat thereof recorded in Plat Book 1 page 11 (now 7) of the St. Louis County Records.

PARCEL 8:

The South 30 feet of Lot 12 in Block 11 of the Town (now City) of Clayton, according to the plat thereof recorded in Plat Book 1 page 7 of the St. Louis County Records, fronting 30 feet on the East line of Central Avenue, by a depth Eastwardly of 80 feet, bounded South by an alley 20 feet wide.

SECTION D PUBLIC BENEFITS

A PUD must provide public benefits to the surrounding neighborhoods and to the City above and beyond what can be reasonably achieved by application of the zoning provisions applicable to the underlying zoning district. The Developer and any successor property owners have committed to providing the following public benefits: z

Code Section	Public Benefit	Comments
405.1380(B)(2)	Enhance Public Open Space	Outdoor Plaza at Central Avenue and Maryland Avenue Intersection
405.1380(B)(3)	Public Infrastructure	Widen Maryland Avenue sidewalks to 11 feet 2 inches
405.1380(B)(6)	Protection or addition of Green Infrastructure	Underground storage of stormwater and amenity deck stormwater adsorption
405.1380(B)(10)	Below Grade Parking	342 Below Grade Parking Spaces
405.1380(B)(13)	Open space for public	Outdoor Amenity deck and dog walk area for residents of Building
405.1380(B)(14)	Preservation of Architecturally significant buildings	Preservation of existing Shanley Building
405.1380(B)(16)	Architecture & Design of Building	Appropriate Building Siting; enhances/protects character of existing neighborhood
405.1380(B)(16)	10 EVP Stations in garage	Energy conservation and Sustainability
405.1380(B)(16)	Bronze level National Green Building Council Construction	Energy conservation and Sustainability

SECTION E

DEVELOPMENT COMMITMENTS/CONDITIONS OF APPROVAL: BEMISTON PLACE PUD

The development of this PUD shall be subject to and governed by the following conditions:

1. TRANSPORTATION

- A. All deliveries to the site shall occur in the designated loading zones; no deliveries will be made from the alley or the adjacent streets.
- B. 26 parking spaces will be available for the retail owners, employees, and valets in the parking garage. This designation has been identified on the third level plan, sheet A2.30.

2. ENVIRONMENTAL/LANDSCAPE/PUBLIC WORKS

The development of this PUD shall be subject to and governed by the following conditions:

- A. All Landscape plantings located on the green wall and landscape planters and beds space shall be planted with plantings that will retain year-round greenery. Maintenance of the plantings shall be the responsibility of the developer and any successor property owner.
- B. The final streetscape design shall be coordinated with the City's Public Works Department.

3. PLANNING/ZONING

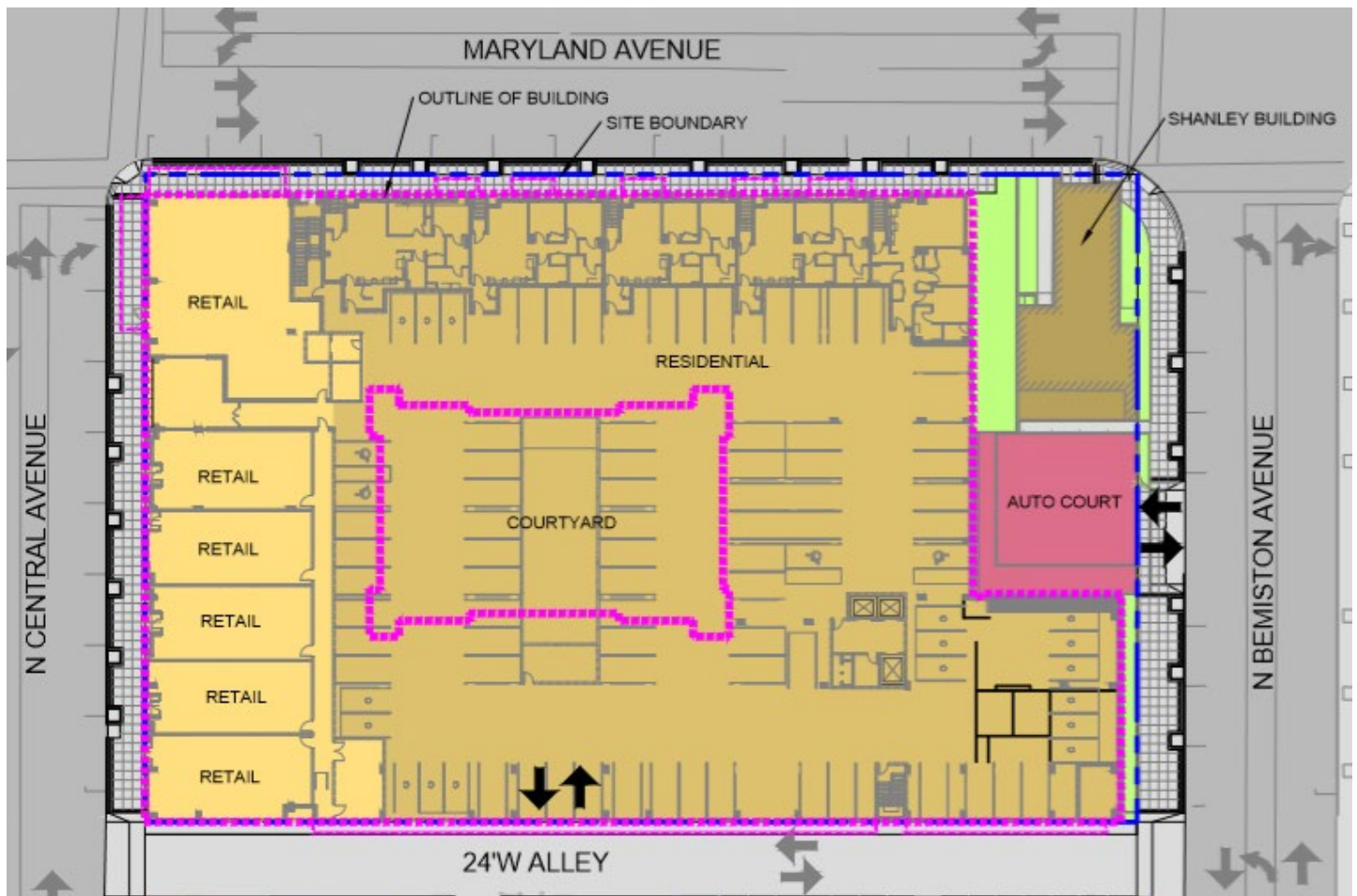
The development of this PUD shall be subject to and governed by the following conditions:

- A. Prior to the issuance of a building permit, the Developer shall submit a subdivision plat to consolidate the existing lots into one parcel for development.
- B. All signage shall comply with Chapter 425. Signage, unless a separate sign district specifically for this project is developed and approved by the Architectural Review Board.
- C. Lighting facilities shall comply with applicable City codes and shall be arranged in a manner which will protect roadways and neighboring properties from direct glare or other interference.

4. MISCELLANEOUS

- A. Issuance of a development permit by the City does not in any way create any rights on the part of the applicant to obtain a permit from a local, state or federal agency and does not create any liability on the part of the City for issuance of the permit if the applicants fails to obtain requisite approval or fulfill the obligations imposed by a local, state or federal agency or undertakes actions that result in a violation of local, state or federal law.
- B. All other applicable local, state or federal permits must be obtained before commencement of the development.
- C. The project shall be constructed substantially in accordance with the approved Site Plan, Architectural Plans approved by the Plan Commission and Architectural Review Board, Plan set dated December 15, 2020.
- D. The approved development plan and Planned Unit Development Ordinance shall be recorded with St. Louis County and proof of recording submitted to the City prior to the issuance of a Building Permit.
- E. Section F, below, PUD Master Development Plan illustrates the proposed development and is conceptual in nature. Proposed tract, lot or land use boundaries shall not be construed to be final and may be varied at any subsequent approval phase such as platting or site development plan application.
- F. All necessary easements, dedications or other instruments shall be granted by Developer and/or Owner(s) of property described in Section C, above, to insure the continued operation and maintenance of all service utilities and all common areas in the project.

SECTION F PUD MASTER DEVELOPMENT PLAN (BELOW).



Boundary Survey



BILL NO. 6814

ORDINANCE NO.

AN ORDINANCE PROVIDING FOR THE REZONING OF CERTAIN PROPERTY LOCATED AT 9 AND 19 NORTH BEMISTON AVENUE, 7800 AND 7820 MARYLAND AVENUE, AND 26,30,32 AND 38 NORTH CENTRAL AVENUE FROM HIGH DENSITY COMMERCIAL AND CENTRAL BUSINESS DISTRICT CORE OVERLAY DISTRICT TO A PLANNED UNIT DEVELOPMENT DISTRICT TO BE KNOWN AS THE BEMISTON PLACE PLANNED UNIT DISTRICT; PROVIDING FOR THE CHANGE IN THE ZONING MAP OF THE CITY OF CLAYTON, MISSOURI; APPROVING A PLANNED UNIT DEVELOPMENT FOR THE SUBJECT PROPERTY; AND OTHER ACTIONS RELATED THERETO

WHEREAS, Chapter 405, Article X “Planned Unit Development”, Section 405.1360 “Purpose Statement” of the City’s Land Use Code states that “Planned Unit Developments are a distinct zoning district”; and

WHEREAS, on October 15, 2020, a request for the rezoning of assembled property known as 9 and 19 Bemiston Avenue, 7800 and 7802 Maryland Avenue, and 26,30,32 and 38 North Central Avenue (collectively, the “Site”) from High Density Commercial and Central Business District Core Overlay District to a Planned Unit Development District was received from Bemiston Place, LLC, Steven A. Brown, Manager; and

WHEREAS, Bemiston Place, LLC, (the “Developer”) submitted an application for approval of a mixed-use planned unit development plan on October 15, 2020 and revisions dated December 16, 2020 (the “Development Plan”) for use of the Site for development of a mixed-use structure. The structure will contain a mix of uses consisting of multi-family residential rental apartments, commercial, restaurant and a parking garage. The mixed-use structures contain approximately two hundred and sixty-eight thousand five hundred and thirty-five square feet (268,535) of floor area, including ~~236,237~~ rental apartments, ~~10,667~~ 10,300 square feet of retail/restaurant space and 346 parking spaces. Parking is provided in a three story integrated parking garage (two stories of which are below grade) with 342 parking spaces and a 4-space motor court. The east-west alley adjacent to the property will also be widened to 24 feet through a right-of-way dedication; and

WHEREAS, on December 7 and 21, 2020, the Plan Commission recommended that the proposed rezoning and development plan be approved by the Board of Aldermen; and

WHEREAS, after notice required by law and ordinance, a Public Hearing was held before the Board of Aldermen of the City of Clayton on December 22, 2020, to consider the request and recommendation; and

WHEREAS, upon due consideration, this Board of Aldermen finds and determines that good planning practice, those elements of the City’s comprehensive plan applicable to the area in question, and the public health, safety, morals, and general welfare would be best served if the subject Property is rezoned as hereinafter provided and if the development plan referenced below is adopted as hereinafter provided.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF CLAYTON, MISSOURI, AS FOLLOWS:

Section 1. The zoning classification of the property located at 9 and 19 North Bemiston Avenue,

7800 and 7802 Maryland Avenue, and 26,30,32 and 38 North Central Avenue, more fully described in Exhibit A, attached hereto, and incorporated herein by reference, is hereby changed from High Density Commercial (HDC) and the Central Business District Core Overlay District to a Planned Unit Development District.

Section 2. The zoning map described in Chapter 405, Section 405.060. "Zoning Map" of the Code of Ordinances of the City of Clayton is hereby revised to be consistent with the rezoning approved in Section 1 of this Ordinance.

Section 3. Findings and Development Plan Approval

The Development Plan dated December 16, 2020, Exhibit B attached hereto and incorporated herein by reference and made part of this Ordinance, as submitted by Bemiston Place, LLC, and Exhibit C, the Planned Unit Development Document are hereby approved, this Board having found and determined that the Development, as set forth in the aforesaid Development Plan and documents, furthers the following objectives as specified in Section 405.1400:

- The proposed development is in harmony with general purposes and intent of Chapter 405 of the Municipal Code and is compatible with and implements the planning goals and objectives of the City;
- Streets or other means of access to the proposed development meet City of Clayton standards and are suitable and adequate to carry anticipated traffic and will not overload the adjacent streets;
- The internal circulation system of the proposed development encourages safe movement for vehicles and pedestrians;
- Existing or proposed utility services are adequate for the proposed development;
- Appropriate buffering is provided to protect adjacent land uses from light, noise and visual impacts;
- Architecture and building materials are consistent with the design of the development and compatible with the adjacent neighborhood;
- Landscaping is appropriate with the scale of the development and consistent with any applicable City codes, ordinances, and standards.
- The proposed materials, design and uses are compatible with the neighborhood surrounding the proposed development or the City as a whole.
- The proposed development complies with all other applicable codes and ordinances.

In addition, the Board of Aldermen hereby finds and determines that the Developer has satisfied the requirements of Section 405.1380 to provide sufficient public benefits to (a) warrant approval of a planned development and (b) allow alternative standards in lieu of the four following zoning requirements which would otherwise be applicable to the subject property, to wit: the height limitation, building setback, floor area ratio and rear setback requirements of the Downtown Overlay District. The Board's finding as to satisfaction of the requirements of Section 405.1380 is based on the Board's determination that the Plan is entitled to the following points for the following public benefits:

Code Section	Public Benefit	Points	Comments
405.1380(B)(2)	Enhance Public Open Space	2	Outdoor Plaza at Central Avenue and Maryland Avenue Intersection
405.1380(B)(3)	Public Infrastructure	3	Widen Maryland Avenue sidewalks to 11 feet 2 inches
405.1380(B)(6)	Protection or addition of Green Infrastructure	2	Underground storage of stormwater and amenity deck and stormwater absorption
405.1380(B)(10)	Below Grade Parking	5	342 Below Grade Parking Spaces
405.1380(B)(13)	Open space for public	2	Outdoor Amenity deck and dog walk area for residents of Building
405.1380(B)(14)	Preservation of Architecturally significant buildings	7	Preservation of existing Shanley Building
405.1380(B)(16)	Installation of at least 10 Electric vehicle charging stations	3	Sustainable Building Design & Energy Conservation
405.1380(B)(16)	National Green Building Standard rating of Bronze for Multi-family development	5	Sustainable Building Design & Energy Conservation
405.1380(B)(16)	Architecture and Design of Building	3	Building siting enhances/protects character of existing neighborhood

Section 4. The approval of the Development Plan by this Board of Aldermen is hereby subject to the development commitments and conditions set forth in Exhibit C, attached hereto and incorporated herein by this reference.

Section 5. Implementation

The City Manager is hereby authorized and directed to take all such actions as may be necessary and proper (or to cause the same to be taken) in order to implement the approval of the Final Development Plan authorized by this Ordinance.

Section 6. Effective Date

This Ordinance shall be in full force and effect from and after the date of its passage and adoption by the Board of Alderman.

Adopted this 22nd day of December 2020.

Mayor

ATTEST:

City Clerk

Exhibit A Legal Description

Legal Description

PARCEL 1:

Part of Lots 9, 10 and 11 in Block 11 of Town of Clayton, St. Louis County, Missouri, described as:

Beginning at a point in the South line of Maryland Avenue, 80 feet wide, distant 40.72 feet West of the West line of Bemiston Avenue, 80 feet wide; thence Westwardly along the South line of Maryland Avenue, 119.28 feet to the West line of Lot 10; thence Southwardly along the West line of Lot 10, 97.71 feet to a point; thence Westwardly and parallel to the North line of a 20 foot wide alley, a distance of 40 feet; thence Southwardly along a line parallel to and 40 feet distant from the West line of Lot 10, 115 feet to the North line of said 20 foot wide alley; thence Eastwardly along the North line of said alley, 80 feet to a point 40 feet East of the most East of the most Southwest corner of Lot 10; thence Northwardly and parallel to the West line of Lot 10, 60 feet to a point; thence Eastwardly and parallel to the South line of Maryland Avenue 45 feet to a point; thence Northwardly along a line parallel with the West line of Lot 10 a distance of 54 feet to a point; thence Eastwardly 34.46 feet to a point in a line parallel with the West line of Lot 10 and distant 95.21 feet from the South line of Maryland Avenue; thence Northwardly and parallel to the West line of Lot 10, 95.21 feet to the point of beginning.

PARCEL 2:

Part of Lots 11 and 12 in Block 11 of the Town (now City) of Clayton, and described as beginning at a point in the East line of Central Avenue, distant 30 feet North of the Southwest corner of said Lot 12; thence North along the East line of Central Avenue, 35 feet to a point; thence East and parallel with the South line of Henderson (now Maryland) Avenue, 120 feet to a point; thence South and parallel with Central Avenue 65 feet to the North line of an alley 20 feet wide; thence West along said North line 40 feet to a point; thence North and parallel with Central Avenue, 30 feet to a point; thence West 80 feet to the point of beginning.

PARCEL 3:

Part of Lots 11 and 12 in Block 11 of Town of Clayton, a Subdivision in St. Louis County, Missouri, as per plat thereof recorded in Plat Book 1 page 11 now 7 of the St. Louis County Records, and described as follows: Beginning at a point in the East line of Central Avenue, 65 feet North of the Southwest corner of said Lot 12; thence North along said East line of Central Avenue, 50 feet; thence East along the South line of property now or formerly of Arthur J. Kerth, 120 feet to a point; thence South parallel with said East line of Central Avenue, 50 feet to a point; and thence West 120 feet to the beginning.

PARCEL 4:

The North 97 feet 8-1/2 inches of Lot 12 in Block 11 of the Town of Clayton, a subdivision in St. Louis County, Missouri, as per plat thereof recorded in Plat Book 1 page 7 of the St. Louis County Records.

PARCEL 5:

The North 97 feet 8-1/2 inches of Lot 11 in Block 11 of Town of Clayton, a subdivision in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 1 page 11, now 7 of the St. Louis County Records.

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City Manager
10 N. Bemiston Avenue
Clayton, MO 63105

REQUEST FOR BOARD ACTION

TO: MAYOR HARRIS; BOARD OF ALDERMEN
FROM: DAVID GIPSON, CITY MANAGER (DG)
JUNE FRAZIER, CITY CLERK
DATE: JULY 27, 2021
SUBJECT: MOTION - DISPOSE OF RECORDS PER THE MISSOURI SECRETARY OF
STATE GENERAL RECORDS RETENTION SCHEDULE

As the Board is aware, it is the recommended guideline of the Secretary of State to formally approve the disposition of records at the Board of Alderman level, and to include a list which describes the record series including quantity to be disposed, the manner of destruction and destruction date.

Below is a list of records staff is proposing to dispose.

The Fire Department – EMS training records from 2000-2015*

**Per Bureau of EMS regulations, only the past 5 years need to be kept for records.*

Recommendation: To approve a motion to dispose of the records as listed in conformance with the Missouri Secretary of State General Records Retention Schedule.